

COOK RESIDENCE

HARDSCAPE PLAN DAWN & JOE COOK

NOTES:

SILT FENCE

- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.

MAINTENANCE STATEMENT

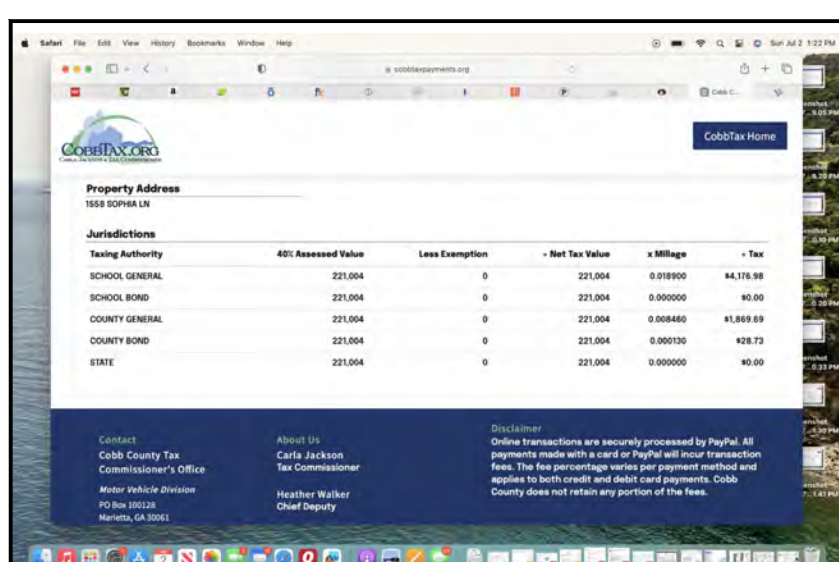
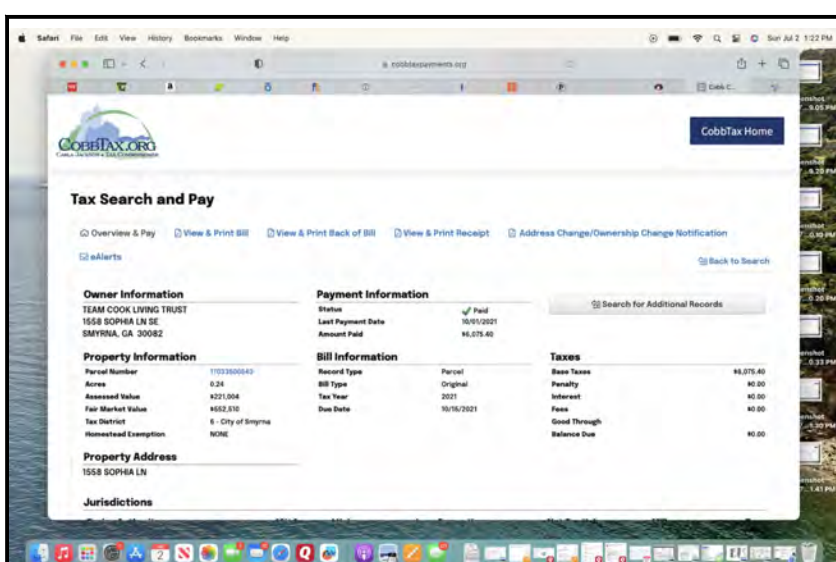
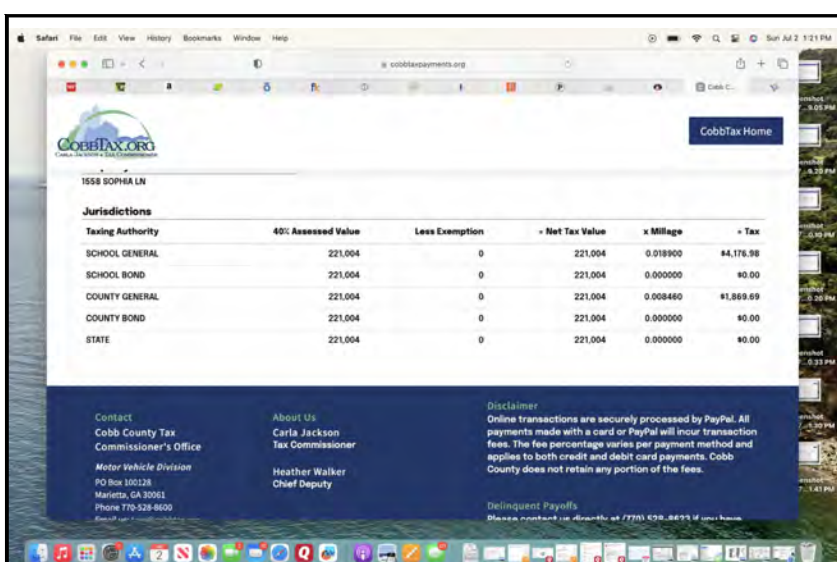
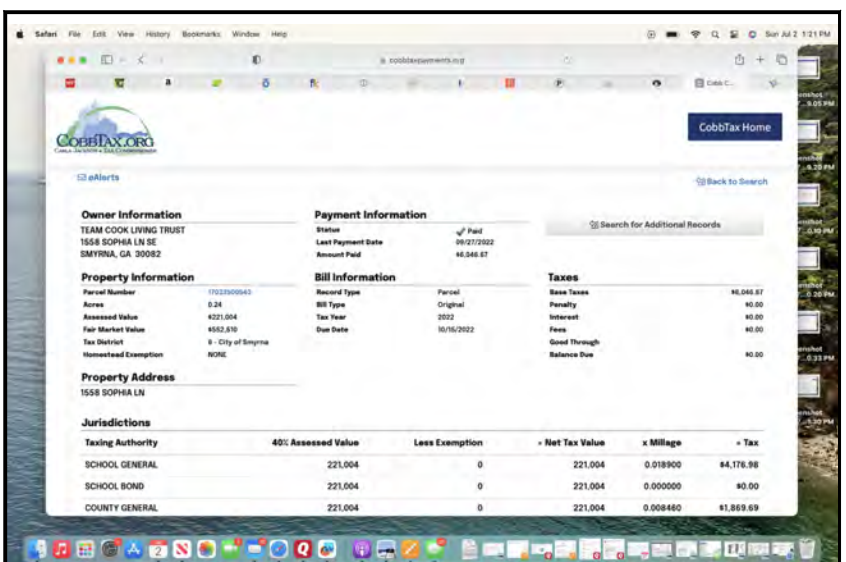
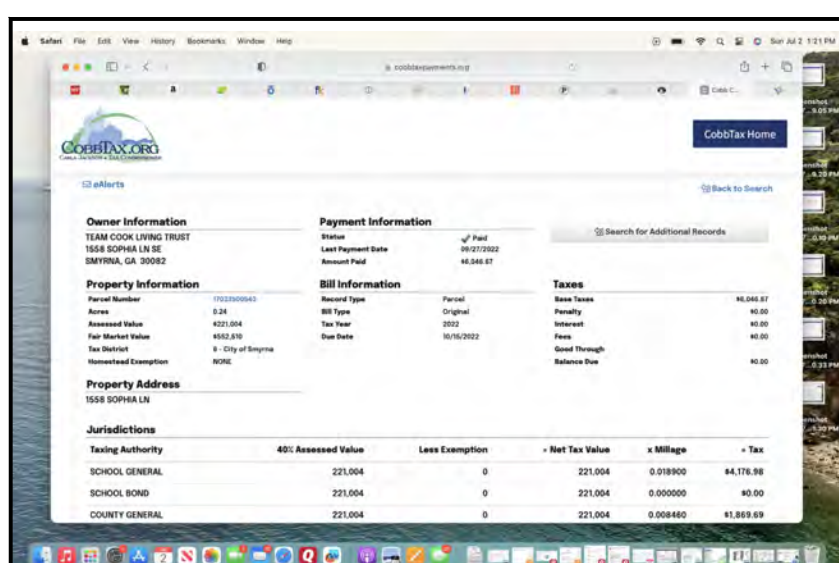
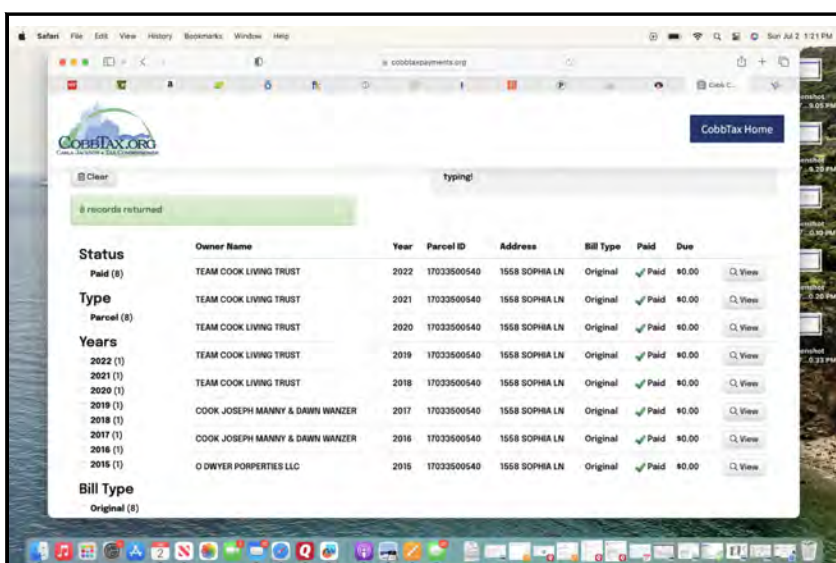
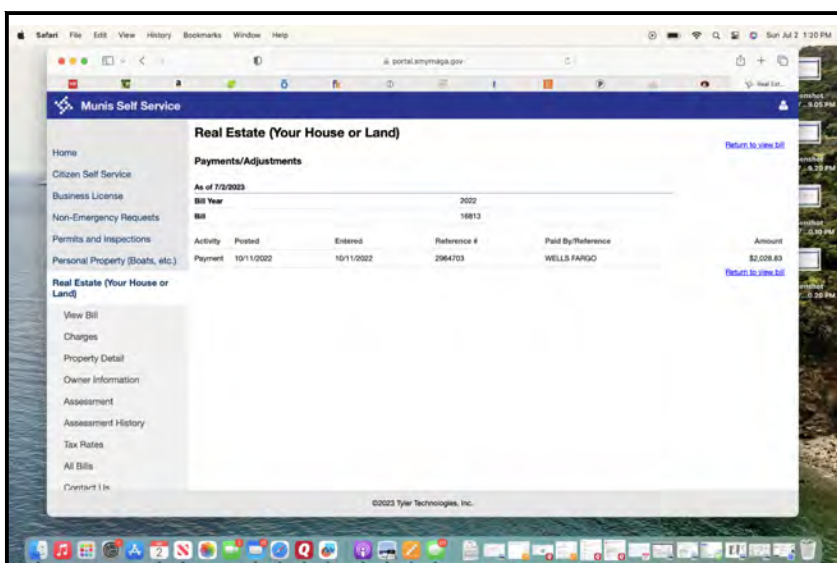
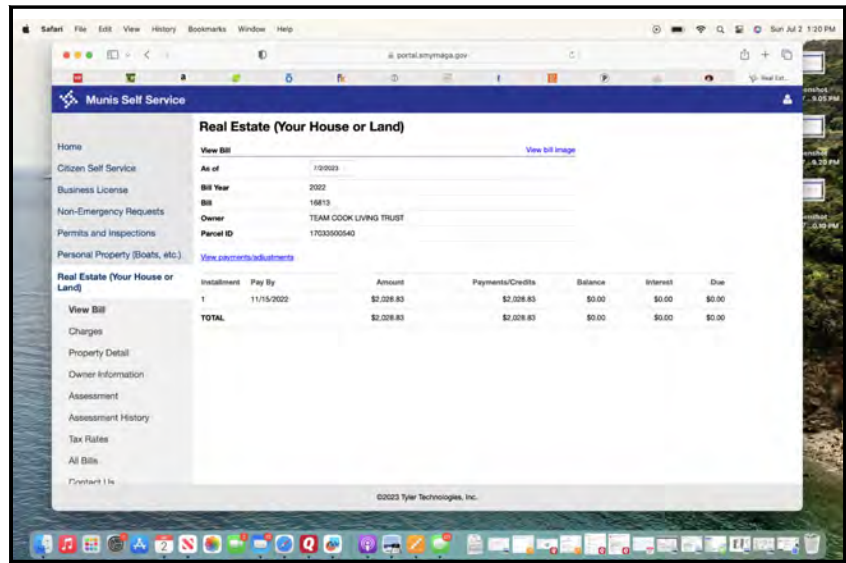
- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
- Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.

DIRT STATEMENT

- No graded slope shall exceed 2h:1v
- Permanent vegetation shall be established after construction is complete.
- Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment.
- The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from common property line and oriented so direction of concentrated flow is not toward the adjacent property line.
- Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated.
- No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of Cobb County/City of Smyrna, unless such obstruction is allowed on part of an approved permit.

SITE VISIT CERTIFICATION STATEMENT:

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AGENT, UNDER MY DIRECT SUPERVISION.



1 FRONT OF HOME
CPI PHOTO NTS

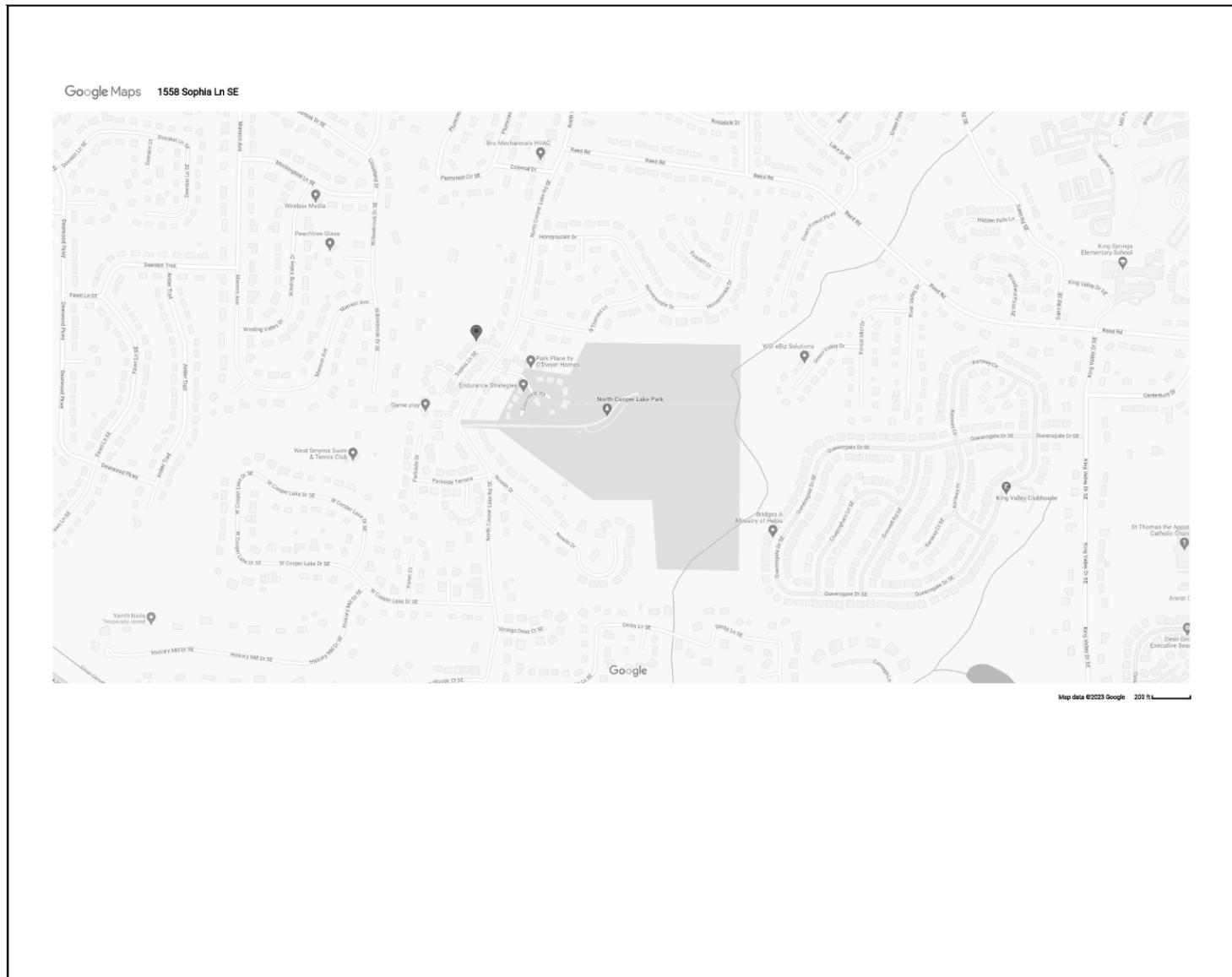
2 PAID TAX RECEIPTS
CPI INFORMATION NTS

RELEASED FOR CONSTRUCTION

OVERALL MAP



LOCAL MAP



- SCOPE OF WORK—
1. ADDITION OF MODULAR RETAINING WALL
 2. REPLACE DECK WITH PORCH
 3. ADDITION OF VENTLESS FIREPLACE
 4. ADDITION OF ARTIFICIAL TURF LAWN
 5. STORMWATER MANAGEMENT—DRY WELLS
 6. GRADING TO ENSURE POSITIVE WATER FLOW

SHEET INDEX

SHEET#	DESCRIPTION
CP-10	COVER PAGE
EC-10	EXISTING CONDITIONS
HS-10	HARDSCAPE LABELING PLAN
HS-2.0	DIMENSIONING PLAN
HS-3.0	STORMWATER PLAN
PL-10	PLANTING PLAN
TP-10	TREE PROTECTION PLAN
DT-10	EROSION CONTROL/TREE PROTECTION DETAILS
DT-2.0	MSC. DETAILS
DT-3.0	MSC. DETAILS
DT-4.0	FLO-WELL DETAILS

NOTE: Total Disturbed Area= 5,000 sq. ft.

SITE DATA	
PARCEL ID:	17033500540
LAND LOT:	335
DISTRICT:	17th
ZONING:	RDA
ACREAGE:	0.235 ACRES
ADDRESS:	1558 SOPHIA LANE SMYRNA, GA 30082
OWNER:	DAWN COOK
24 HOUR CONTACT:	ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO

SHEET SIZE 24 X 36

SHEET SIZE 24 X 36

NOTES



V2	07-27-23	REVISION- ADDED SHEETS TO SET
NO.	Date	Description
REVISIONS		



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

COVER PAGE

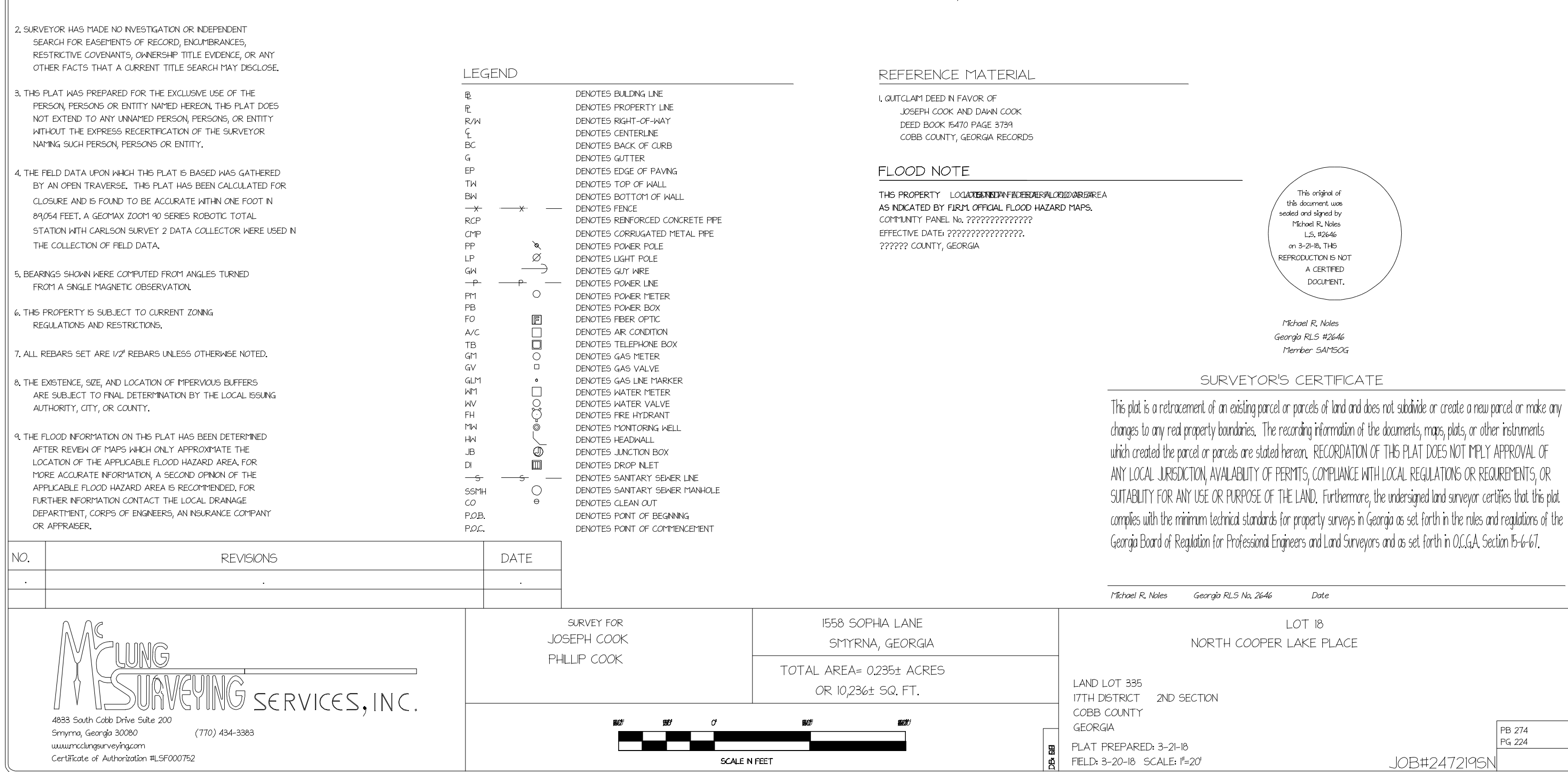
COOK RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=10'
DRAWN BY	JJ
DATED BY	
DATE	06-01-23
DATE OF PRINT	07-27-2022

PROJECT NO.	
SHEET NO.	CP-1.0



SITE DATA
PARCEL ID: 17033500540
LAND LOT: 335
DISTRICT 17th
ZONING: RDA
ACREAGE: 0.235 ACRES
ADDRESS: 1558 SOPHIA LANE
SMYRNA, GA 30082
OWNER: DAWN COOK
24 HOUR CONTACT: ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO	SHEET SIZE 24 X 3
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NOTES

No.

Date

Description

REVISED



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

EXISTING CONDITIONS

COOK
RESIDENCE
1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=20'
DRAWN BY	JLJ
CHECKED BY	
DATE	06-01-2023
DATE OF PRINT	03-25-2023

PROJECT NO.	202306
SHEET NO.	EC-1.0

COOK RESIDENCE LOT COVERAGE		7/26/2023
IMPERVIOUS CALCULATIONS		
LOT SIZE (SQ. FT.)	10236	
45% ALLOWABLE IMPERVIOUS	4606.2	
EX. IMPERVIOUS		
HOUSE	1986	
CONCRETE DRIVEWAY	338	
FRONT PORCH	85	
FRONT WALK	80	
WOOD DECK	545	
CONC. PATIO	50	
TOTAL EXISTING IMPERVIOUS (SQ. FT.)	3084	
% EXISTING IMPERVIOUS	30.1%	
IMPERVIOUS REDUCTION		
WOOD DECK	545	
TOTAL REDUCTION IMPERVIOUS (SQ. FT.)	545	
PROPOSED IMPERVIOUS (ON PROPERTY)		
PORCH (180'x15') (IN BUFFER)	324	
ARTIFICIAL TURF AND TRAMPOLINE (IN BUFFER)	305	
PUTTING GREEN (IN BUFFER)	385	
WALKWAY AND STEPS (PARTIALLY IN BUFFER)	235	
RETAINING WALL (IN BUFFER)	110	
TOTAL PROPOSED IMPERVIOUS (SQ. FT.)	1359	
TOTAL IMPERVIOUS (SQ. FT.)	3899	
% IMPERVIOUS	38.1%	
% PRECONSTRUCTION IMPERVIOUS	30.1%	
% POST CONSTRUCTION IMPERVIOUS	38.1%	
% MAX ALLOWABLE IMPERVIOUS	45.0%	

IMPERVIOUS SURFACE CHART

4 HSI INFORMATION NTS



RETAINING WALL EXAMPLE

3 HSI PHOTO NTS



REAR PORCH EXAMPLE

2 HSI PHOTO NTS

THIS PROPERTY SUBJECT
TO THE FOLLOWING

I. CURRENT ZONING PER CITY OF SMYRNA, GEORGIA RAD CONDITIONAL
ZONING CASE Z13-002 (APPROVED 06-03-13)
AS SHOWN ON RECORDED PLAT

MINIMUM FRONT SETBACK=	15 FEET
MINIMUM SIDE SETBACK=	10 FEET
MINIMUM REAR SETBACK=	20 FEET
MINIMUM LOT AREA=	7,700 SQ. FT. 2,200 SQ. FT.
MINIMUM HOUSE SIZE=	
MUST BE VERIFIED BY CITY OF SMYRNA BEFORE CONSTRUCTION	

1 LABELING

HS1 PLAN

SCALE 1"=10'

NOTE:
-Before starting and during activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.
-Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.
-SILT FENCE
-The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
-Erosion control measures shall be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
-Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding disturbed areas idle 30 days.
-No erosion and sediment control measures shall be installed until the area is stabilized with temporary seeding.
-Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
-Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
DIRT STATEMENT:
-No graded areas and exposed dirt.
-Permanent vegetation shall be established after construction is complete.
-Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of soil or sediment.
-The stormwater discharge from a downspout, storm, or any water collection device shall be located at a distance of not less than ten feet from common property line and oriented to direction of concentrated flow is not toward the adjacent property line.
-Discharge from any downspout, stormwater, or any water collection device shall be directed such that flows will not be concentrated.
-No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of Cobb County unless such obstruction is shown on part of an approved permit.
-All work to be limited within property line.

NOTE-
-LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE.
-TREE SAVE FENCE & SILT FENCE ARE GRAPHICALLY NOTED TO BE CLEARLY REPRESENTED ON DRAWING.
-TREE SAVE FENCE & SILT FENCE SHOULD BE WITHIN 12" OF MARKED LIMIT OF DISTURBANCE.
-ALL DEBRIS TO BE HAULED OFF SITE.
-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

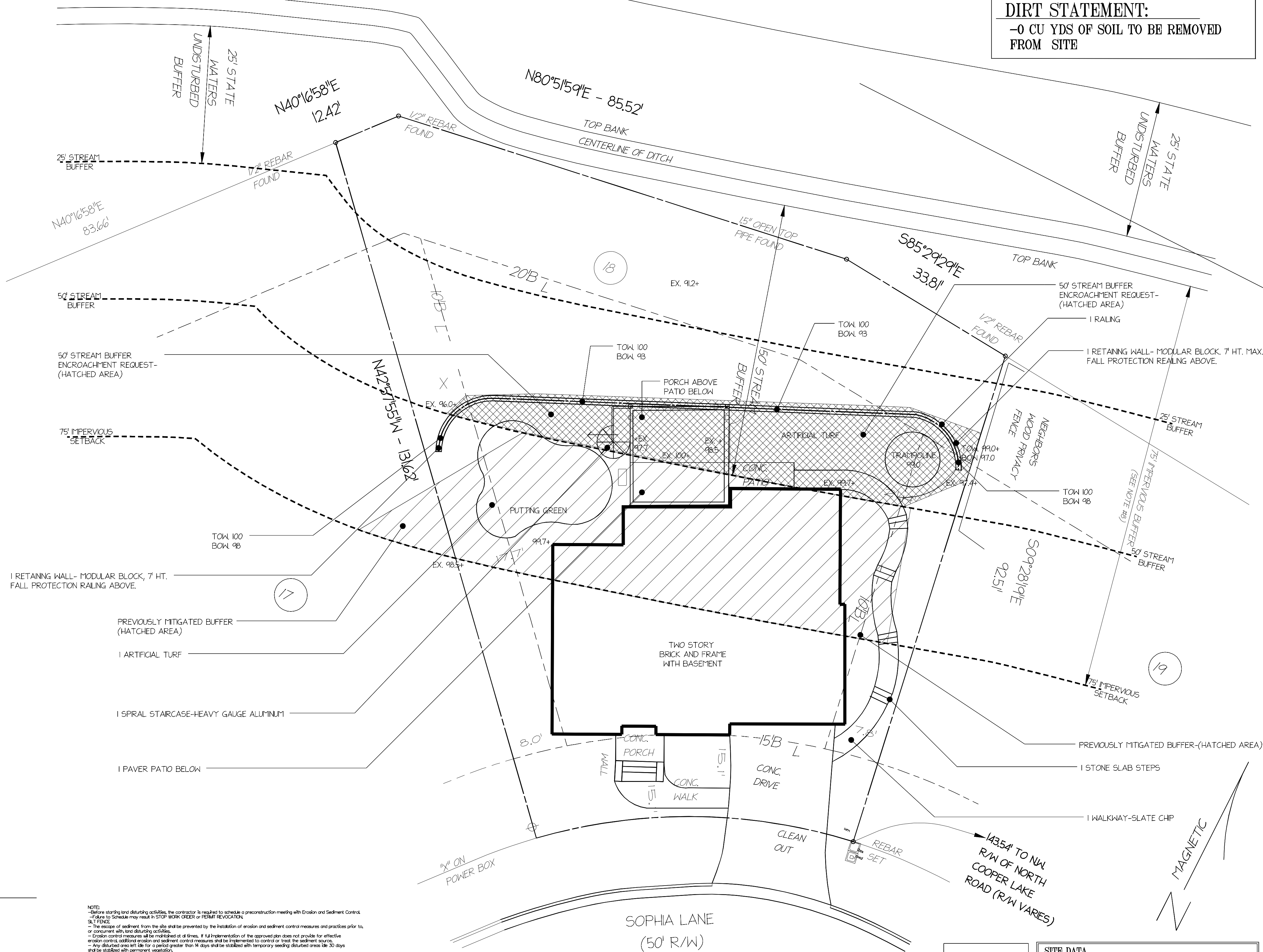
SCOPE OF WORK-
1. ADDITION OF RETAINING WALL
2. ADDITION OF PORCH
3. ADDITION OF ARTIFICIAL TURF
4. ADDITION OF TRAMPOLINE
5. GRADING TO ENSURE POSITIVE WATER FLOW

RELEASED FOR CONSTRUCTION

WATERS OF THE STATE NOTE:
WATERS OF THE STATE DO EXIST
WITHIN 200 FEET OF THE PROJECT SITE.

ACREAGE INFORMATION
TOTAL LOT SIZE (SQ. FT.): 10,236
TOTAL DISTURBED AREA (SQ. FT.): 2,800

DIRT STATEMENT:
-0 CU YDS OF SOIL TO BE REMOVED
FROM SITE



SITE DATA	
PARCEL ID:	17033500540
LAND LOT:	335
DISTRICT:	17th
ZONING:	RDA
ACREAGE:	0.235 ACRES
ADDRESS:	1558 SOPHIA LANE SMYRNA, GA 30082
OWNER:	DAWN COOK
24 HOUR CONTACT:	ADAM ARDOIN - 404-556-8691
OWNER/SITE INFO	SHEET SIZE 24 X 36

NOTES



No.	Date	Revisions
V2	7-27-23	REVISIONS



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

LABELING PLAN

COOK
RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=10'
DRAWN BY	JJ
D. CHECKED BY	
DATE	06-01-2023
DATE OF PRINT	07-27-2023

PROJECT NO.	
SHEET NO.	HS-1.0

COOK RESIDENCE LOT COVERAGE		7/26/2023
IMPERVIOUS CALCULATIONS		
LOT SIZE (SQ. FT.)	10236	
45% ALLOWABLE IMPERVIOUS	4606.2	
EX. IMPERVIOUS		
HOUSE	1986	
CONCRETE DRIVEWAY	338	
FRONT PORCH	85	
FRONT WALK	80	
WOOD DECK	545	
CONC. PATIO	50	
TOTAL EXISTING IMPERVIOUS (SQ. FT.)	3084	
% EXISTING IMPERVIOUS	30.1%	
IMPERVIOUS REDUCTION		
WOOD DECK	545	
TOTAL REDUCTION IMPERVIOUS (SQ. FT.)	545	
PROPOSED IMPERVIOUS (ON PROPERTY)		
PORCH (180'x18) (IN BUFFER)	324	
ARTIFICIAL TURF AND TRAMPOLINE (IN BUFFER)	305	
PUTTING GREEN (IN BUFFER)	385	
WALKWAY AND STEPS (PARTIALLY IN BUFFER)	235	
RETAINING WALL (IN BUFFER)	110	
TOTAL PROPOSED IMPERVIOUS (SQ. FT.)	1359	
TOTAL IMPERVIOUS (SQ. FT.)	3898	
% IMPERVIOUS	38.1%	
% PRECONSTRUCTION IMPERVIOUS	30.1%	
% POST CONSTRUCTION IMPERVIOUS	38.1%	
% MAX ALLOWABLE IMPERVIOUS	45.0%	

4 HSI IMPERVIOUS SURFACE CHART INFORMATION NTS



3 HSI RETAINING WALL EXAMPLE PHOTO NTS



2 HSI REAR PORCH EXAMPLE PHOTO NTS

THIS PROPERTY SUBJECT
TO THE FOLLOWING

I. CURRENT ZONING PER CITY OF SMYRNA, GEORGIA RAD CONDITIONAL
ZONING CASE: Z13-002 (APPROVED 06-03-13)
AS SHOWN ON RECORDED PLAT

MINIMUM FRONT SETBACK= 15 FEET
MINIMUM SIDE SETBACK= 10 FEET
MINIMUM REAR SETBACK= 20 FEET
MINIMUM LOT AREA= 7,700 SQ. FT. 2,200 SQ. FT.
MINIMUM HOUSE SIZE=

MUST BE VERIFIED BY CITY OF SMYRNA BEFORE CONSTRUCTION

1 HSI DIMENSIONING PLAN

SCALE 1"=10'

NOTE:
-Before starting and during activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.
-Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.
-SILT FENCE
-The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
-Erosion control measures shall be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
-Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding disturbed areas idle 30 days.
-Any disturbed area shall be stabilized with permanent vegetation.
-No grading shall be performed.
-Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
-Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.
DIRT STATEMENT:
-No graded areas and exposed soils.
-Permanent vegetation shall be established after construction is complete.
-Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of soil or sediment.
-The stormwater discharge from a downspout, storm, or any water collection device shall be located at a distance of not less than ten feet from common property line and oriented so that the discharge of concentrated flow is not toward the adjacent property line.
-Discharge from any downspout, stormwater, or any water collection device shall be directed such that flow will not be concentrated.
-No person shall erect, construct, or otherwise permit or obstruct that prevents the natural or contained flow of water to any component of the stormwater system of Cobb County, unless such construction is allowed in part of an approved permit.

NOTE:-
-LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE.
-TREE SAVE FENCE & SILT FENCE ARE GRAPHICALLY NOTED TO BE CLEARLY REPRESENTED ON DRAWING.
-TREE SAVE FENCE & SILT FENCE SHOULD BE WITHIN 12" OF MARKED LIMIT OF DISTURBANCE.
-ALL DEBRIS TO BE HAULED OFF SITE.
-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

SCOPE OF WORK-
1. ADDITION OF RETAINING WALL
2. ADDITION OF PORCH
3. ADDITION OF ARTIFICIAL TURF
4. ADDITION OF TRAMPOLINE
5. GRADING TO ENSURE POSITIVE WATER FLOW



SCALE 1"=10'

SITE DATA
PARCEL ID: 17033500540
LAND LOT: 335
DISTRICT: 17th
ZONING: RDA
ACREAGE: 0.235 ACRES
ADDRESS: 1558 SOPHIA LANE
SMYRNA, GA 30082
OWNER: DAWN COOK
24 HOUR CONTACT: ADAM ARDOIN - 404-556-8691
OWNER/SITE INFO SHEET SIZE 24 X 36

NOTES



No.	Date	Revisions
V2	7-27-23	REVISIONS



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

DIMENSIONING PLAN

COOK
RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE 1"=10'
DRAWN BY JJ
CHECKED BY
DATE 06-01-2023
DATE OF PRINT 07-27-2023

PROJECT NO.
SHEET NO.

HS-2.0

7/26/2023

IMPERVIOUS CALCULATIONS	
LOT SIZE (SQ FT)	10236
45% ALLOWABLE IMPERVIOUS	4606.2
EX. IMPERVIOUS	
HOUSE	1986
CONCRETE DRIVEWAY	338
FRONT PORCH	85
FRONT WALK	80
WOOD DECK	545
CONC. PATIO	50
TOTAL EXISTING IMPERVIOUS (SQ FT)	3084
% EXISTING IMPERVIOUS	30.1%

IMPERVIOUS REDUCTION	
WOOD DECK	545
TOTAL REDUCTION IMPERVIOUS (SQ FT)	545

PROPOSED IMPERVIOUS (ON PROPERTY)	
PORCH (18X18) (IN BUFFER)	324
ARTIFICIAL TURF AND TRAMPOLINE (IN BUFFER)	305
PUTTING GREEN (IN BUFFER)	385
WALKWAY AND STEPS (PARTIALLY IN BUFFER)	235
RETAINING WALL (IN BUFFER)	110
TOTAL PROPOSED IMPERVIOUS (SQ FT)	1359

TOTAL IMPERVIOUS (SQ FT)	3898
% IMPERVIOUS	38.1%
% PRECONSTRUCTION IMPERVIOUS	30.1%
% POST CONSTRUCTION IMPERVIOUS	38.1%
% MAX ALLOWABLE IMPERVIOUS	45.0%

IMPERVIOUS SURFACE CHART



3 RETAINING WALL EXAMPLE



2 REAR PORCH EXAMPLE
S1 PHOTO NTS

THIS PROPERTY SUBJECT
TO THE FOLLOWING

1. CURRENT ZONING PER CITY OF SMYRNA, GEORGIA RAD CONDITIONAL
ZONING CASE: Z13-002 (APPROVED 06-03-13)
AS SHOWN ON RECORDED PLAT

MINIMUM FRONT SETBACK=	15 FEET
MINIMUM SIDE SETBACK=	10 FEET
MINIMUM REAR SETBACK=	20 FEET
MINIMUM LOT AREA=	7,700 SQ. FT. 2,200 SQ. FT.
MINIMUM HOUSE SIZE=	

MUST BE VERIFIED BY CITY OF SMYRNA BEFORE CONSTRUCTION

1 HS-3 STORMWATER MANAGEMENT --- PLAN SCALE

SCALE 1''=10'

T#2- 50" OAK
7853 SF CRZ
1599 SF IMPACT
20% IMPACT

RELEASED FOR CONSTRUCTION

<p>WATERS OF THE STATE NOTE: WATERS OF THE STATE DO EXIST WITHIN 200 FEET OF THE PROJECT SITE.</p>

ACREAGE INFORMATION

TOTAL LOT SIZE (SQ. FT.): 10,236
TOTAL DISTURBED AREA (SQ. FT.): 2,800

DIRT STATEMENT:

-0 CU YDS OF SOIL TO BE REMOVED
FROM SITE

NOTES



No.	Date	Description
REVISIONS		



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

STORMWATER MANAGEMENT PLAN

COOK
RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=10'
DRAWN BY	JJ
CHECKED BY	
DATE	06-01-2023
DATE OF PRINT	07-27-2023

PROJECT NO.
SHEET NO.
HS-3

NOTE: The following starting and ending dates are the contractor's required schedule for construction measures with Erosion and Sediment Control. Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.

- The erosion and sediment measures shall be initiated and the erosion and sediment control measures and practices prior to the start of any construction activities.
- Erosion and sediment control measures shall be implemented on all areas of the project.
- Erosion control, sedimentation and sediment control measures shall be implemented on or before the sediment source.
- Erosion and sediment control measures shall be initiated within 14 days and be installed with sediment sifting devices within 30 days and be installed with permanent vegetation.
- Erosion and sediment control measures shall be inspected at least weekly, after each rain, and reported as necessary.
- Erosion and sediment control measures shall be monitored regularly by on-site inspections.
- No graded slopes shall exceed 2:1.
- Erosion and sediment control measures shall be maintained or replaced by on-site inspections.
- Lots and buildings shall be developed in a manner to ensure that stormwater infiltrates individual parcels or into underground permeable layers.
- Stormwater management shall be designed to prevent erosion and sedimentation of the site and to prevent runoff from ten feet from the property boundary.
- Stormwater management shall be designed to prevent erosion and sedimentation of the site and to prevent runoff from ten feet from the property boundary.
- The permit and design, construction, or discharge permit and obstruction that prevents the natural or discharge flow of water to any component.

NOTE--
- LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE
-TREE SAVE FENCE & SILT FENCE ARE
GRAPHICALLY NOTED TO BE CLEARLY
REPRESENTED ON DRAWING.
-TREE SAVE FENCE & SILT FENCE SHOULD BE WITHIN
12' OF MARKED LIMIT OF DISTURBANCE
-ALL DEBRIS TO BE HAULED OFF SITE
-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

SCOPE OF WORK-

1. ADDITION OF RETAINING WALL
2. ADDITION OF PORCH
3. ADDITION OF ARTIFICIAL TURF
4. ADDITION OF TRAMPOLINE
5. GRADING TO ENSURE POSITIVE
WATER FLOW



SITE DATA
PARCEL ID: 17033500540
LAND LOT: 335
DISTRICT: 17th
ZONING: RDA
ACREAGE: 0.235 ACRES
ADDRESS: 1558 SOPHIA LANE SMYRNA, GA 30082
OWNER: DAWN COOK
24 HOUR CONTACT: ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

7/26/2023

EX. IMPERVIOUS	
HOUSE	1986
CONCRETE DRIVEWAY	338
FRONT PORCH	85
FRONT WALK	80
WOOD DECK	545
CONC PATIO	50
TOTAL EXISTING IMPERVIOUS (SQ FT)	3084
% EXISTING IMPERVIOUS	30.1%

PROPOSED IMPERVIOUS (ON PROPERTY)	
PORCH (18X18) (IN BUFFER)	324
ARTIFICIAL TURF AND TRAMPOLINE (IN BUFFER)	305
PUTTING GREEN (IN BUFFER)	385
WALKWAY AND STEPS (PARTIALLY IN BUFFER)	235
RETAINING WALL (IN BUFFER)	110
TOTAL PROPOSED IMPERVIOUS (SQ FT)	1359

% POST CONSTRUCTION IMPERVIOUS	38.1%
% MAX ALLOWABLE IMPERVIOUS	45.0%

IMPERVIOUS ~~DUPLICATE~~



MINIMUM FRONT SETBACK= 15 FEET
MINIMUM SIDE SETBACK= 10 FEET
MINIMUM REAR SETBACK= 20 FEET
MINIMUM LOT AREA= 7,700 SQ. FT. 2,200 SQ. FT.
MINIMUM HOUSE SIZE=

MUST BE VERIFIED BY CITY OF SMYRNA BEFORE CONSTRUCTION

SCALE 1''=10'

[illegible]

NOTE--
 - LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE
 -TREE SAVE FENCE & SILT FENCE ARE
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 12' OF MARKED LIMIT OF DISTURBANCE
 -ALL DEBRIS TO BE HAULED OFF SITE.
 -ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

ACREAGE INFORMATION
TOTAL LOT SIZE (SQ. FT.): 10,236
TOTAL DISTURBED AREA (SQ. FT.): 2,800

—0 CU YDS OF SOIL TO BE REMOVED
FROM SITE

[illegible]

LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

COOK RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=10'
DRAWN BY	JJ
CHECKED BY	
DATE	06-01-2023
DATE OF PRINT	07-27-2023

PROJECT NO.
SHEET NO.
PL-1.0



IMPERVIOUS SURFACE CHART



3 RETAINING WALL EXAMPLE



2 REAR PORCH EXAMPLE
HS1 PHOTO NTS

THIS PROPERTY SUBJECT
TO THE FOLLOWING

I. CURRENT ZONING PER CITY OF SMYRNA, GEORGIA RAD CONDITIONAL
ZONING CASE: Z13-002 (APPROVED 06-03-13)
AS SHOWN ON RECORDED PLAT

MINIMUM FRONT SETBACK=	15 FEET
MINIMUM SIDE SETBACK=	10 FEET
MINIMUM REAR SETBACK=	20 FEET
MINIMUM LOT AREA=	7,700 SQ. FT. 2,200 SQ. FT.
MINIMUM HOUSE SIZE=	

MUST BE VERIFIED BY CITY OF SMYRNA BEFORE CONSTRUCTION

1 TREE PROTECTION
TP-1 PLAN

SCALE 1''=10'

T#2- 50" OAK
7853 SF CRZ
1599 SF IMPACT
20% IMPACT

RELEASED FOR CONSTRUCTION

<p>WATERS OF THE STATE NOTE: WATERS OF THE STATE DO EXIST WITHIN 200 FEET OF THE PROJECT SITE.</p>

ACREAGE INFORMATION

TOTAL LOT SIZE (SQ. FT.): 10,236
TOTAL DISTURBED AREA (SQ. FT.): 2,800

DIRT STATEMENT:

-0 CU YDS OF SOIL TO BE REMOVED
FROM SITE

NOTES



No.	Date	Description

REVISIONS



LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

TREE PROTECTION PLAN

COOK
RESIDENCE

1558 SOPHIA LANE

SMYRNA, GEORGIA 30082

SCALE	1"=10'	PROJECT NO.	
DRAWN BY	JJ		
CHECKED BY		SHEET NO.	
DATE	06-01-2023	TP-1.0	
DATE OF PRINT	07-27-2023		

Powered by DynaSCAPE®

[illegible]

NOTE--
- LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE
-TREE SAVE FENCE & SILT FENCE ARE
GRAPHICALLY NOTED TO BE CLEARLY
REPRESENTED ON DRAWING.
-TREE SAVE FENCE & SILT FENCE SHOULD BE WITHIN
12' OF MARKED LIMIT OF DISTURBANCE
-ALL DEBRIS TO BE HAULED OFF SITE
-ALL WORK TO BE LIMITED WITHIN PROPERTY LINE.

SCOPE OF WORK-

1. ADDITION OF RETAINING WALL
2. ADDITION OF PORCH
3. ADDITION OF ARTIFICIAL TURF
4. ADDITION OF TRAMPOLINE
5. GRADING TO ENSURE POSITIVE
WATER FLOW



A horizontal scale bar with tick marks at 0, 5, 10, and 20 feet. The text "SCALE IN FEET" is centered below the bar.

SITE DATA

PARCEL ID: 17033500540
LAND LOT: 335
DISTRICT: 17th
ZONING: RDA
ACREAGE: 0.235 ACRES
ADDRESS: 1558 SOPHIA LANE
 : DAWN COOK
OWNER: :
24 HOUR CONTACT: ADAM ARDINO - 404-556-8691

OWNER/SITE INFO SHEET SIZE 24 X 36

NOTE:

-Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.
-Failure to Schedule may result in STOP WORK ORDER or PERMIT REVOCATION.

SILT FENCE

-The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
-Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
-Any disturbed area left idle for a period greater than 14 days shall be stabilized with temporary seeding; disturbed areas idle 30 days shall be stabilized with permanent vegetation.

MAINTENANCE STATEMENT

-Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
-Additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection.

DIRT STATEMENT

-No graded slope shall exceed 2h:1v
-Permanent vegetation shall be established after construction is complete.
-Lots and buildings shall be developed in a manner to ensure that stormwater exiting individual parcels or lots under post developed conditions does not adversely impact the adjacent parcels or lots as a result of concentrated flows, flooding, erosion, or deposits of silt or sediment.
-The stormwater discharge from a downspout, cistern, or any water collection device shall be located a distance of no less than ten feet from common property line and oriented so direction of concentrated flow is not toward the adjacent property line.
-Discharge from any downspout described above must be dissipated, infiltrated, or diverted such that flows will not be concentrated.
-No person shall erect, construct, or otherwise permit and obstruction that prevents the natural or contained flow of water to any component of the stormwater system of the CITY OF ATLANTA unless such obstruction is allowed on part of an approved permit.

RELEASED FOR CONSTRUCTION

WATERS OF THE STATE NOTE:

WATERS OF THE STATE DO EXIST
WITHIN 200 FEET OF THE PROJECT SITE.

ACREAGE INFORMATION

TOTAL LOT SIZE (SQ. FT.): 10,236
TOTAL DISTURBED AREA (SQ. FT.):2800

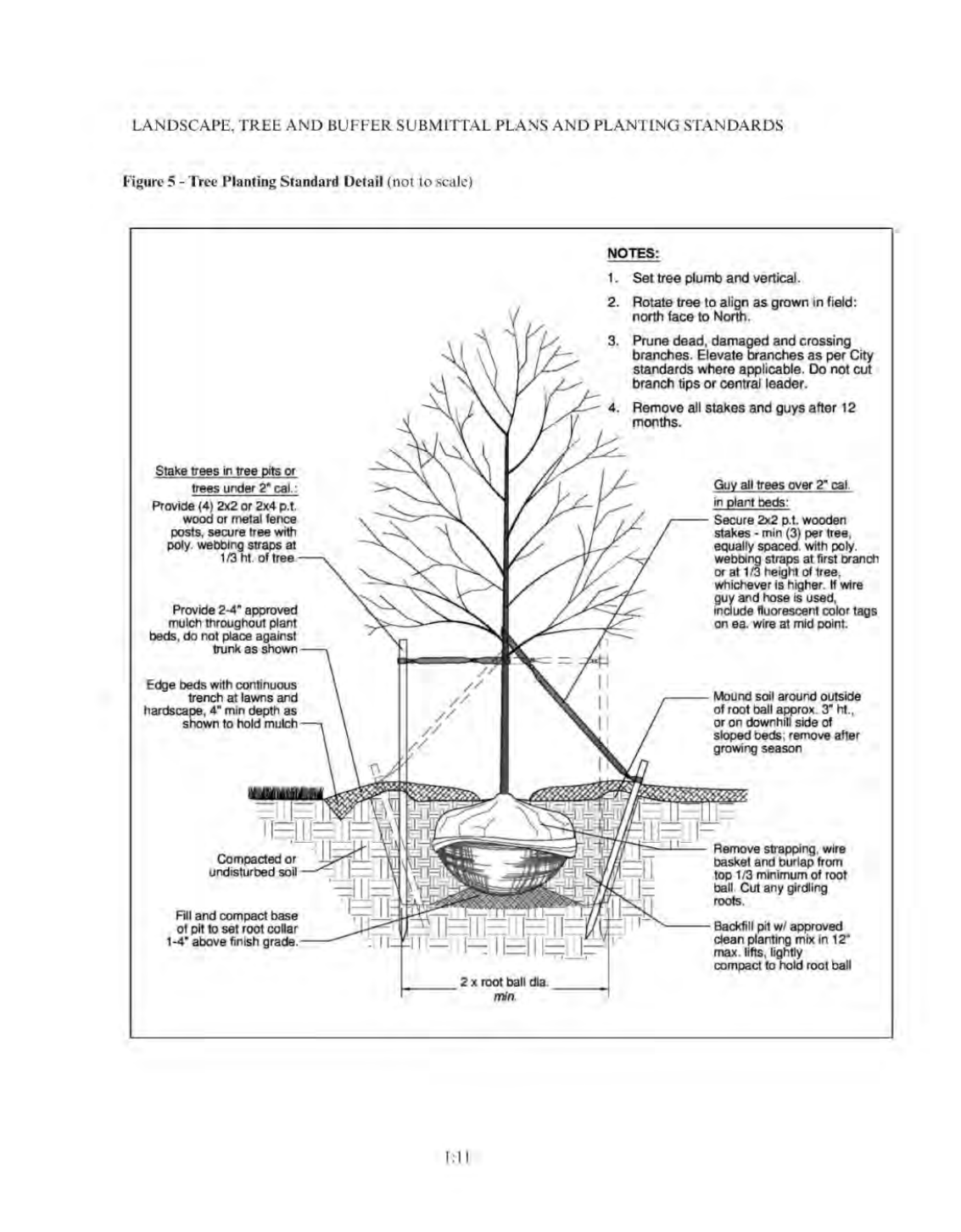
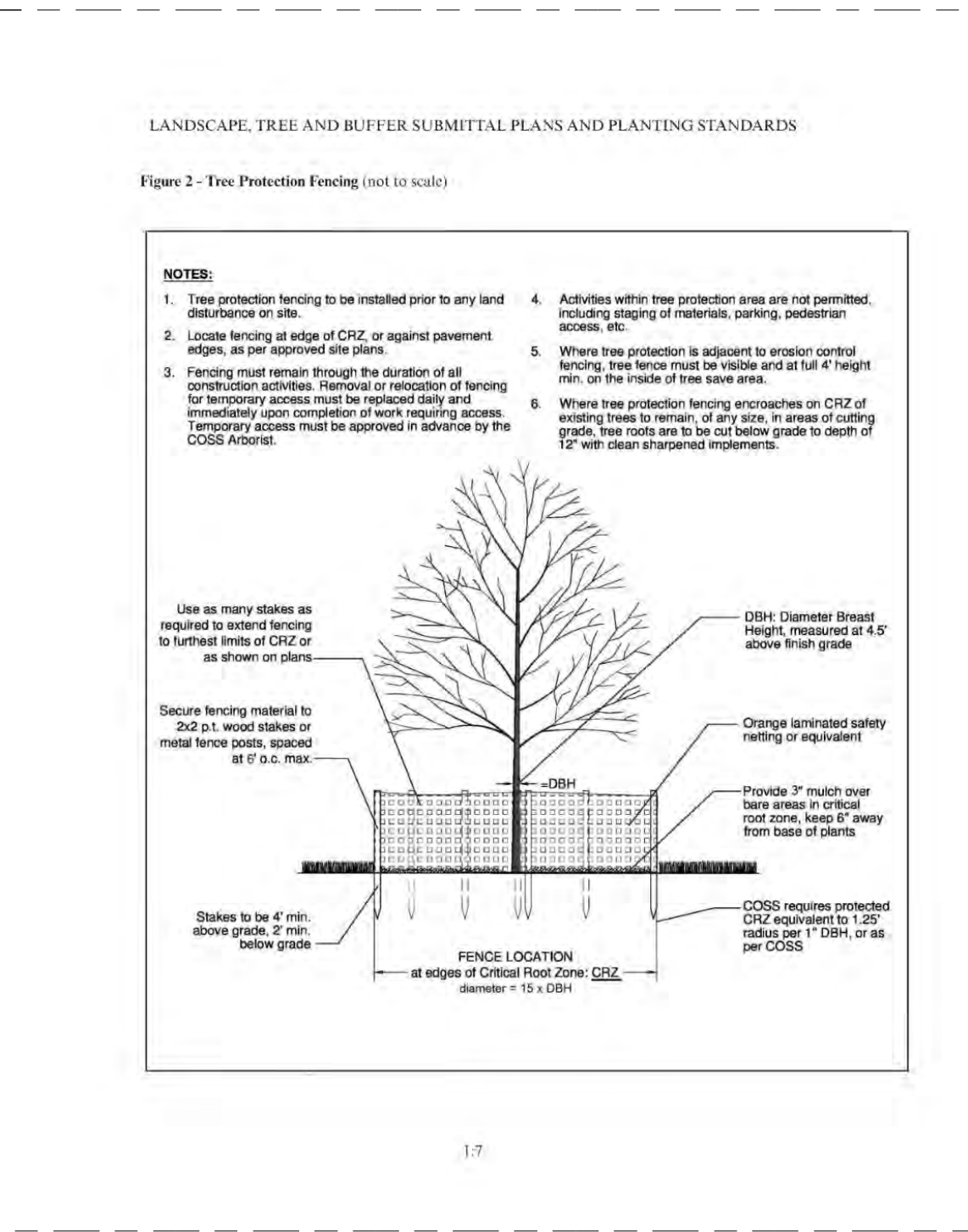
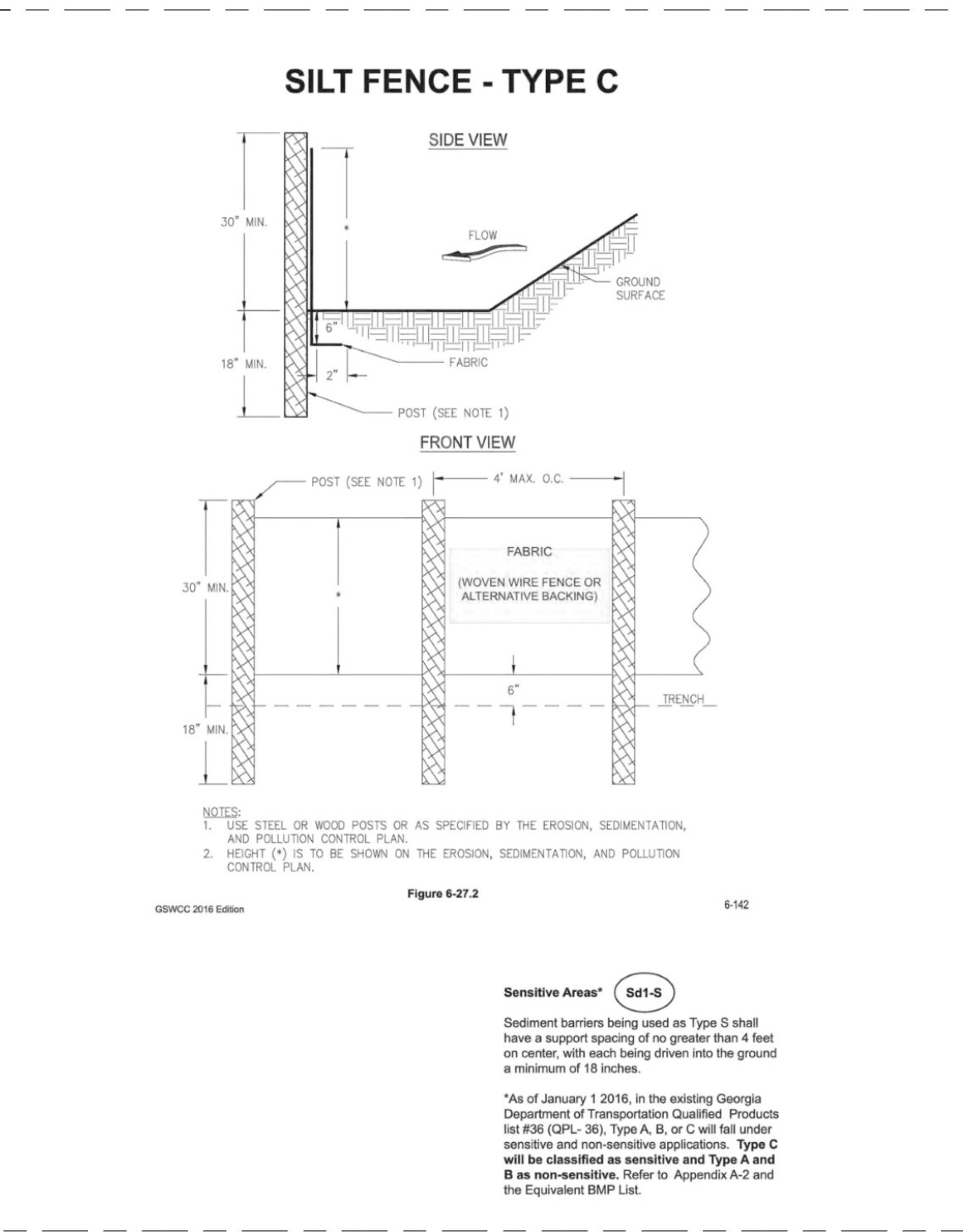
DIRT STATEMENT:

-0 CU YDS OF SOIL TO BE REMOVED
FROM SITE

NOTE:-

- LIMIT OF DISTURBANCE GRAPHIC LINES ARE TRUE.
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-TREE SAVE FENCE &SILT FENCE SHOULD BE WITHIN 12" OF MARKED LIMIT OF DISTURBANCE

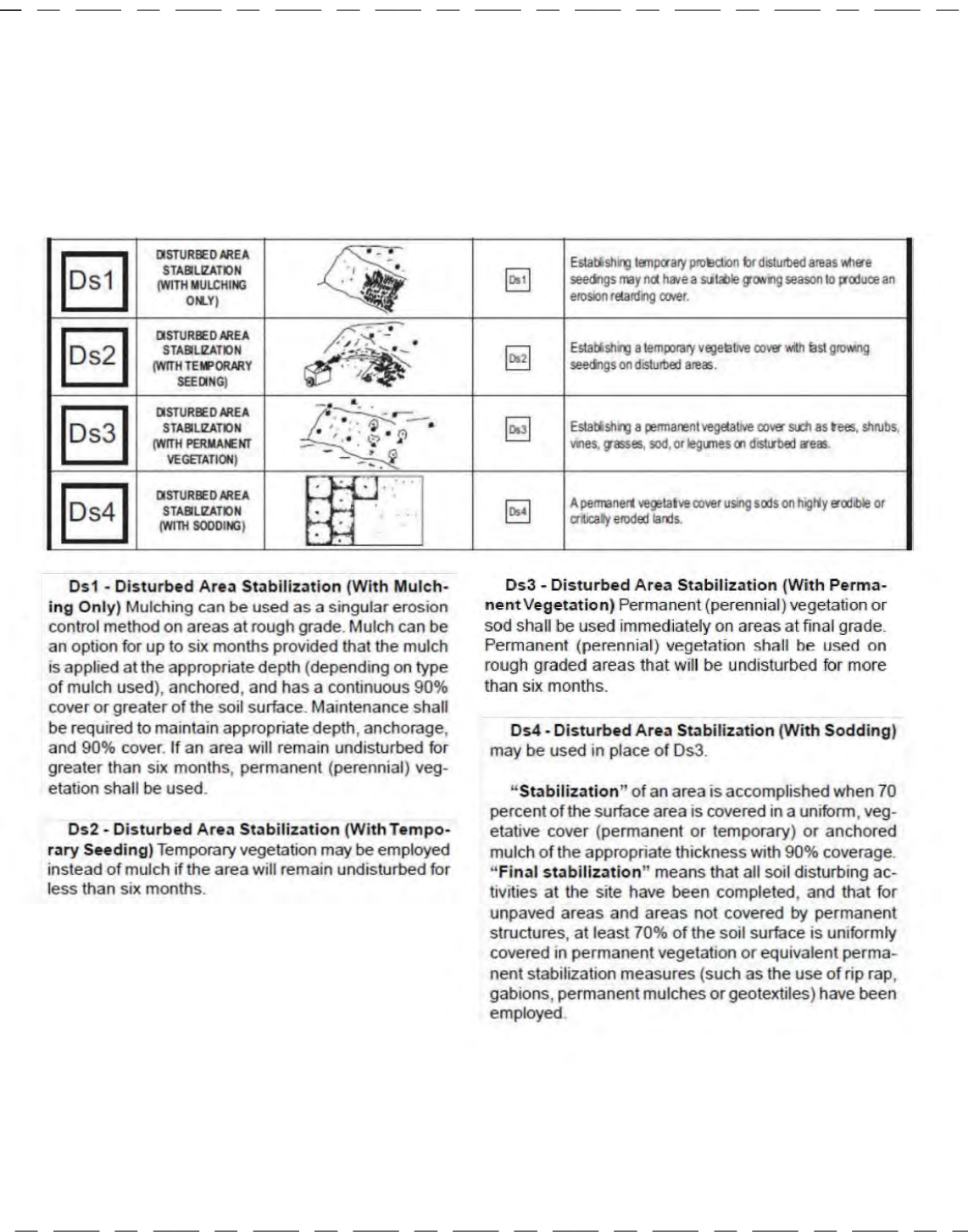
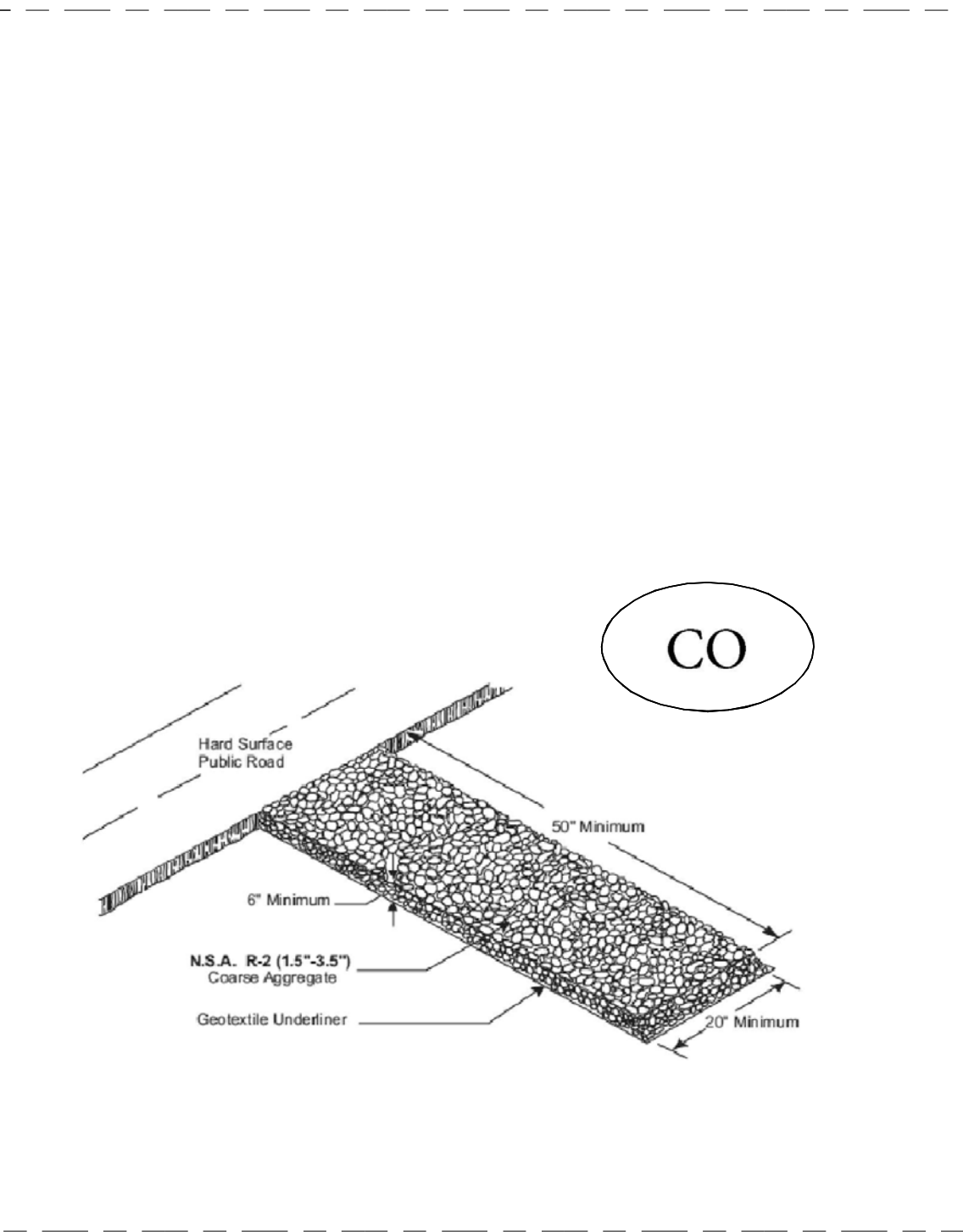
NOTES



1 TYPE C SILT FENCE
DTI SECTION/ELEVATION NTS

2 TREE PROTECTION FENCE
DTI ELEVATION NTS

3 TREE PLANTING DETAIL
DTI ELEVATION NTS



SITE DATA

PARCEL ID: 17033500540
LAND LOT: 335
DISTRICT: 17th
ZONING: RDA
ACREAGE: 0.235 ACRES
ADDRESS: 1558 SOPHIA LANE
SMYRNA, GA 30082
OWNER: DAWN COOK
24 HOUR CONTACT: ADAM ARDOIN - 404-556-8691

OWNER/SITE INFO

SHEET SIZE 24 X 36

No.	Date	Description
REVISIONS		

LANDSCAPE STUDIO
TIMELESS OUTDOOR SPACES

LANDSCAPE STUDIO GROUP
PO BOX 683096
MARIETTA, GA 30068
404-556-8691

EROSION CONTROL/
TREE PROTECTION
DETAILS

**COOK
RESIDENCE**
1558 SOPHIA LANE
SMYRNA, GEORGIA 30082

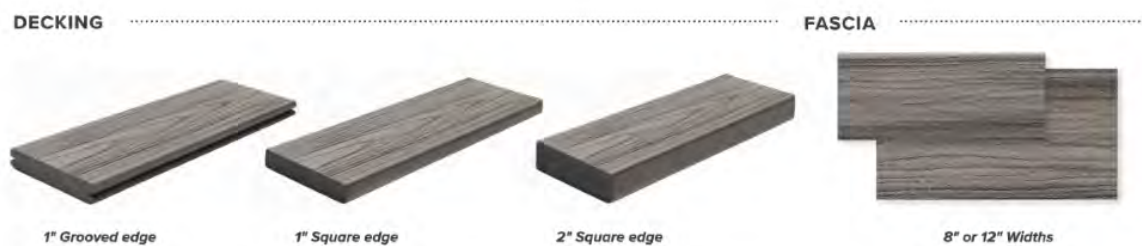
SCALE: VARIES	PROJECT NO: 202306
DRAWN BY: JJJ	SHEET NO: DT-1.0
CHECKED BY:	
DATE: 06-01-2023	
DATE OF PRINT: 06-23-2023	

Trex Transcend®



PREMIUM HIGH-PERFORMANCE DECKING & FASCIA

The Transcend® decking and Trex® Fascia are wood thermoplastic composite lumber (WTC) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Transcend Decking and Fascia are ICC-ES ESR-1411 certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	2" x 6"	8"	12"
Actual Dimensions - Standard	.94" x 5.5"	1.3" x 5.5"	.56" x 7.25"	.56" x 11.375"
Actual Dimensions - Metric	24 mm x 140 mm	33 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12', 16', 20'	12'	12'
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm, 487 cm, 609 cm	365 cm	365 cm
Grooved Edge	X			
Square Edge	X	X	X	X
Transcend Tropicals	X	X	X	X
Transcend Earth Tones	X		X	X
Weight per Lineal Foot	2.4 lbs	3.6 lbs	2.0 lbs	3.3 lbs

Trex Transcend® | Trex

PHYSICAL & MECHANICAL PROPERTIES

TEST	TEST METHOD	VALUE
Flame Spread	ASTM E 84	70
Thermal Expansion	ASTM D 1037	1.9 x 10 ⁻³ in/in/°F
Moisture Absorption	ASTM D 1037	<1%
Screw Head Pull-Through	ASTM D7161	>61 lbf/screw*
Fungus Resistance	ASTM D1413	Rating - no decay
Termite Resistance	AWRPAE1-72	Rating - 9.6

*Fastener used in testing: #8 x 2.5" HADCOTE Stainless Steel Screw

COLORS

Tropicals (multi-tonal)

Island Mist

Tiki Torch

Haviana Gold

Spiced Rum

Live Rock

Earth Tones (monochromatic)

Grown Path

Single String

Vintage Lantern

FASTENERS

Trex Hideaway® Hidden Fastening System

Self-gripping, glass filled nylon fastener with 304 grade stainless steel, sharp point screw for wood framing

Other Approved Fasteners

Color-matched composite deck screw or matching composite plug

Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at trex.com/resources



Engineering What's Next
In Outdoor Living®

1-5-21

Below is an updated listing of recommended fasteners for Trex Decking and Composite Fascia products.

DECKING - HIDDEN FASTENERS	Transcend®	Enhance®	Select®
Trex Hideaway® Universal Hidden Fastener	X	X	X
TigerClaw® TC-G Hidden Fastener	X	X	X
Cortex® Concealed Fasteners**	X		X
Starborn® Pro Plug® System for PVC & Composite (Epoxy Coated & Stainless) (2" are approved for sleeper & roof top applications only)	X		X
Simpson Strong-Tie Deck Drive™ DCU Composite Screw & DCU Plug (Handdrive only & must also use Auto-Set Drive Bit)	X		X
DECKING - COMPOSITE SCREWS	Transcend®	Enhance®	Select®
FastenMaster® TrapEase 3 Ultimate Composite Deck Screw	X	X	X
Simpson Strong-Tie Deck Drive™ DCU Composite Screw (Collated & Handdrive)	X	X	X
Quik Drive® Composi-Lok Deck Screw	X	X	X
SplitStop™ Titan II Composite Screw	X	X	X
Starborn® Cap-Toe® and Epoxy Coated & Headcode® Stainless (available collated for Muro CH7390 Driver) (2" are approved for sleeper & roof top applications only)	X	X	X
Screw Products C-Deck Exterior Star Drive Composite Deck Screw	X	X	X
Phillips II Plus® PozzSquare	X	X	X
Muro® T-Screw Torx Stainless Steel Screw - Collated (TX0212SPD or M-TX0300SEP)	X	X	X
Kameleon™ GRKFasteners™			X
FASCIA	Transcend®	Enhance®	Select®
Cortex® Hidden Fastening System for Fascia	X	X	X
Starborn® Pro Plug® System for Fascia - Epoxy & Stainless	X	X	X
Starborn® DeckMaster® Fascia System - Epoxy Coated® and Headcode® Stainless	X	X	X
SplitStop™ Fascia Screws	X	X	X
Simpson Strong-Tie® Fascia Board Screw	X	X	X
FastenMaster® TrapEase® Fascia Fastener	X	X	X



Engineering What's Next
In Outdoor Living®

IMPORTANT ADDITIONAL INFORMATION:

- DO NOT USE ANY HIDDEN FASTENERS THAT ARE PLUG BASED WITH TREX ENHANCE PROFILES WITH SCALLOPED BOTTOM.
- Trex recommends the use of two screws per joist.
- All recommended screws are designed to be installed flush with decking surface. DO NOT countersink screws.
- Use recommended stainless steel screws in any areas near bodies of saltwater.
- 2-3/4" or 3" screws can be used with Trex 2x6 product.
- Muro T-Screw M-TX0300SEP listed above is approved for 2x6 decking (can also be used with standard 1" (decking as listed above). This screw is collated and can be used with Muro Auto Feed Screw Gun FDLV41 Speed Driver. (NOTE: THIS IS NOT A COLOR-MATCH SCREW.)
- All decking products are approved for use with Trex Hideaway Hidden Fasteners; thus all decking products can be routed according to our instructions.
- Simpson Strong-Tie Deck Drive DCU Composite Screw in collated versions works with Quik Drive gun.
- Fascia system screws listed above can only be used with composite fascia profiles and cannot be used with standard thickness decking boards used as fascia. Use stainless steel fascia screws near water applications.
- ** Not for use with sleeper systems. Refer to FastenMaster® literature for more information.
- Contact 1-800-BUY-TREX for Escapes fastener recommendations.

If any condition occurs which is attributable to the use of non-recommended fasteners, such condition shall not be covered under the Trex Limited Warranty.

FastenMaster® TrapEase® and Cortex® are registered trademarks of DMG, Inc. Quik Drive® is a registered trademark and Composi-Lok® is a trademark of Simpson Strong-Tie Company, Inc. DeckMaster® Cap-Toe® and Headcode® Cap-Toe® are registered trademarks of Starborn Industries Inc. C-Deck Exterior Star Drive Composite Deck Screw is a product of Screw Products Inc. Phillips II Plus® is a registered trademark of Phillips Fasteners LLC. SplitStop® is a trademark of Titan Metal Works, Inc.

245 CAPITOL LANE • WINCHESTER, VA 22602 • 840.542.6300 • TREX.COM

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1 TREX TRANSCEND
AR2 INFO NTS

2 TREX TRANSCEND
AR2 INFO NTS

3 TREX- FASTENERS
AR2 INFO NTS

4 TREX- FASTENERS
AR2 INFO NTS

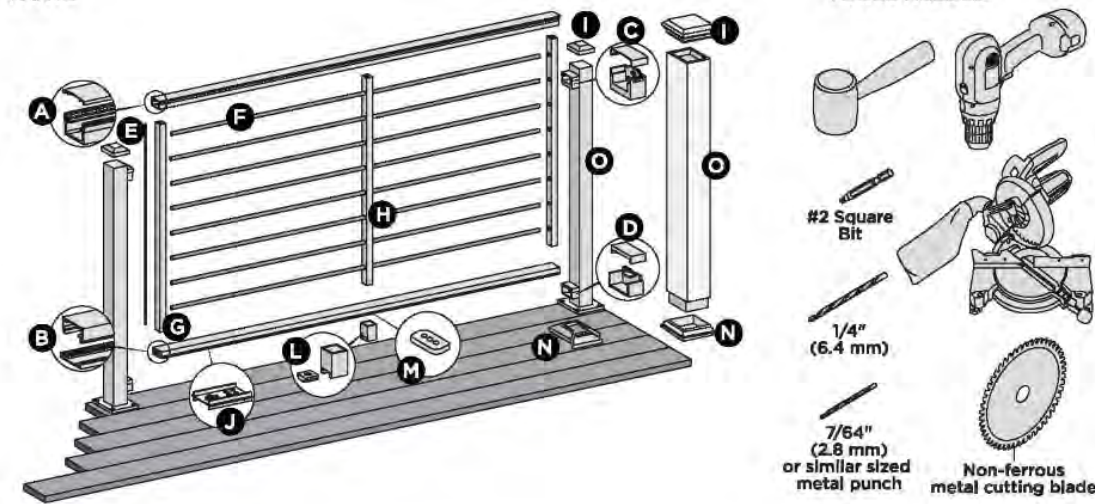
TREX® ROD RAIL HORIZONTAL RAILING Installation Instructions



NOTES:

- Adjust drill power to lowest setting that will drive screw. DO NOT OVER TORQUE 316 STAINLESS STEEL STAINLESS FASTENERS.
- NEVER use impact tools on 316 Stainless Steel Fasteners.
- Be careful inserting rods through intermediate vertical supports. Lay pieces on a flat, solid surface and insert as straight as possible to prevent scratching.
- When marking lines on bottom rail, do not make a mark wider than 1" or it will be visible after installation.
- TOP AND BOTTOM RAILS ARE DIFFERENT LENGTHS, TO ACCOMMODATE THE INSTALLATION OF CROSSOVER POST APPLICATIONS.
- ALL ROD RAILS OVER 6' WILL REQUIRE THE USE OF A FOOT BLOCK, THUS THESE RAILING SPANS MUST BE INSTALLED OVER THE DECKING FRAME OR ON INSIDE OF RAIL JOIST.

PARTS

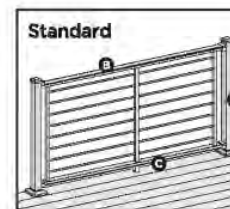


- A. Trex Signature top rail and crowned cover
- 6" (actual length 73-1/2" [1867 mm])
- 8" (actual length 97-1/2" [2477 mm])
- B. Trex Signature bottom rail and flat cover
- 6" (actual length 71-1/2" [181.6 cm])
- 8" (actual length 95-1/2" [242.6 cm])
- C. Trex Signature upper rail bracket and cover
- D. Trex Signature lower rail bracket and cover
- E. Anti-rattle strip
- F. Rod
- G. End vertical support
- H. Intermediate vertical support
- Note: 1 for 6" span/2 for 8" span
- I. Trex Signature post cap or post sleeve cap**
- J. Template
- L. Trex Signature foot block***
- M. HZ spacer
- N. Trex Signature post skirt or post sleeve skirt**
- O. Trex Signature post
- 36" (actual length 37" [94.0 cm])
- 42" (actual length 43" [109.2 cm])
or Trex 4" x 4" post sleeve**
- 36" (actual length 39" [99.1 cm])
- 42" (actual length 45" [114.3 cm])
- ** Item not included in Trex Signature Railing kits. Both 4" x 4" (102 cm x 102 cm) and 6" x 6" (152 cm x 152 cm) post sleeves are designed to fit over 4" x 4" pressure-treated post.
- *** For 8' Rail Sections only - ROD RAIL STIFFENER Included with kit, not shown above
- **** Post block required for all spans greater than 6'

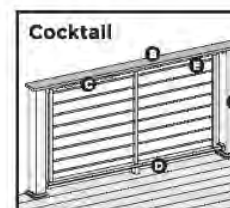
TREX® ROD RAIL HORIZONTAL RAILING Installation Instructions

RAILING CONFIGURATIONS

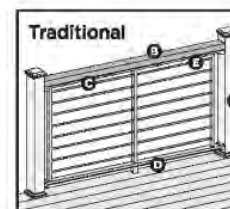
Note: See specific installation instructions for attachment of Trex post mounts or Trex Joist Mount Posts prior to installing any railing.



- Cutting posts/post sleeves is NOT required.
- A. Trex Signature post, pressure-treated post/Trex 4x4 or 6x6 post sleeve, Trex post mount/Trex 4x4 post sleeve, or Composite Joist Mount Post/Trex 4x4 post sleeve (inside mount), or Signature Joist Mount Post (Span of 6' or less only)*
- B. Trex Signature top rail
- C. Trex Signature bottom rail
- See page 6 for "How to Install Standard Rod Railing".



- Post sleeves will need to be cut.
- A. Pressure-treated post with Trex post sleeve
- NOTE: * Only for use with 4" x 4" (102 mm x 102 mm) post sleeve.
- * Trex Signature Posts, Trex Post Mounts or Joist Mount Posts cannot be used with Trex Signature Cocktail design.
- B. Deck board top rail. NOTE: Enhance cannot be used.
- C. Trex Signature top rail
- D. Trex Signature bottom rail
- E. Trex Signature Cocktail Rail Bracket**
- See page 10 for "How to Install Rod Rail Cocktail Railing".



- Cutting posts/post sleeves is Not required.
- A. Pressure-treated post/Trex 4x4 or 6x6 post sleeve, Trex post mount/Trex 4x4 post sleeve, or Joist Mount Post/Trex 4x4 post sleeve.
- NOTE: * Trex Signature Posts or Trex Signature Joist Mount Posts cannot be used.
- B. 2 x 4 lateral top rail
- C. Trex Signature top rail
- D. Trex Signature bottom rail
- E. Trex Signature Cocktail Rail Bracket**
- See page 12 for "How to Install Rod Rail Traditional Railing".

** NOTES: For Signature post or pressure-treated post with post sleeve installations refer To Signature Post Installation Instructions.

** Trex Signature Cocktail Rail brackets (sold separately) are for use with either Trex Rod Rail Traditional or Trex Rod Rail Cocktail designs. For a 6' section, use 4 brackets and screws provided, for 8' section, use 5 brackets and screws provided.

24



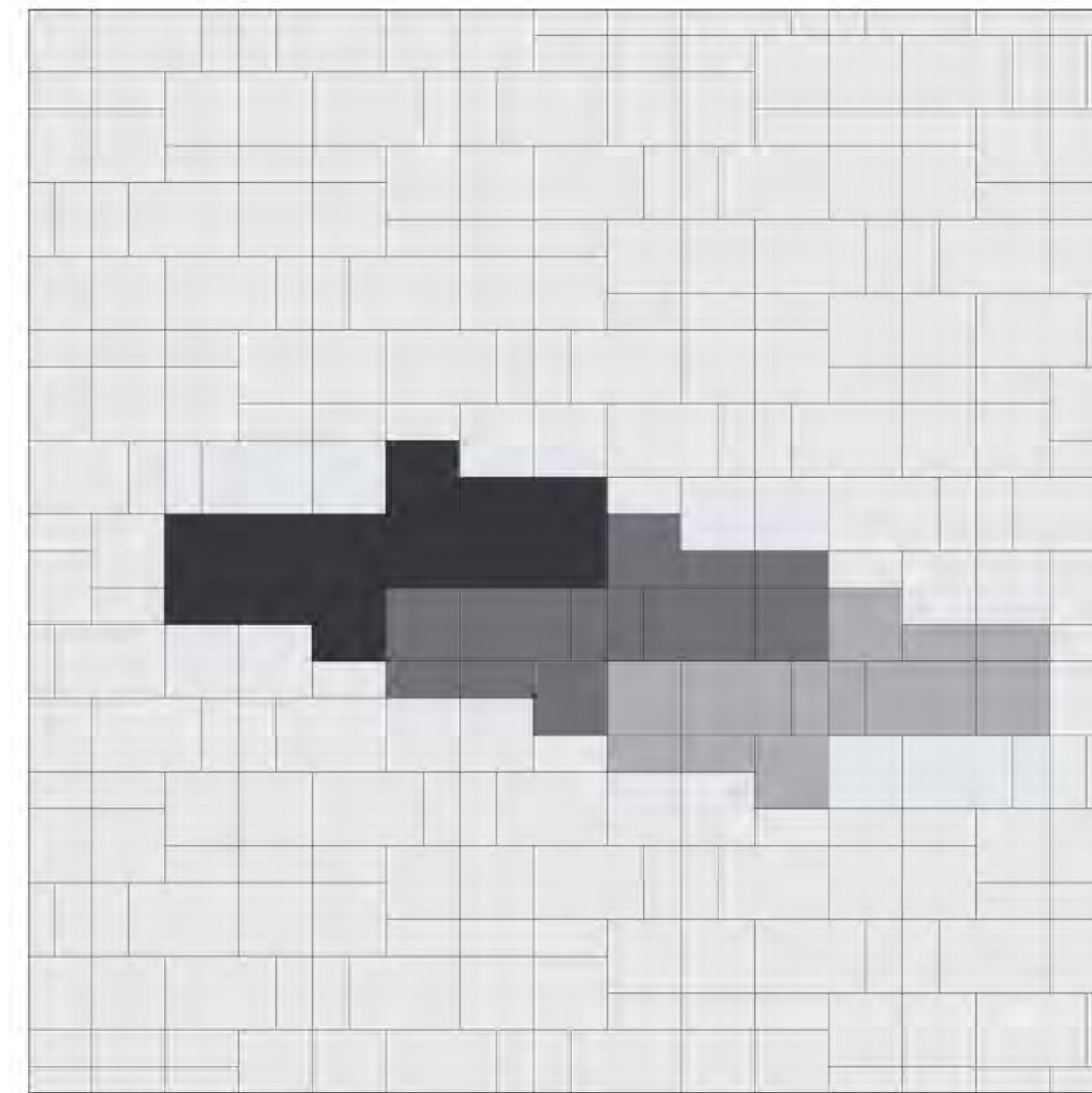
BELGARD® PAVES THE WAY
BELGARD.COM | 877-235-4273

DIMENSIONS™/ORIGINS™ 18
PATTERN A

20% 9 x 18
20% 18 x 18
60% 18 x 27

NOTES:
AutoCAD® hatch pattern files can be downloaded from belgard.com for use in architectural drawings.
Some patterns may not necessarily reflect the percentages of stone sizes within a particular pallet. In some cases you may have extras in one or more of the sizes. This must be accounted for in your planning and design.

Percentages are based on area by paver.



DIMENSIONS/ORIGINS LAYING PATTERN GUIDE

12

Last Revised: 07/2012

NOTES



No.	Date	Description
REVISIONS		
-	-	-
-	-	-
-	-	-



DECK AND PAVERS DETAILS

COOK
RESIDENCE
1558 SOPHA LANE

SMYRNA, GEORGIA 30062

SCALE: 1/2"	PROJECT NO.
DRAWN BY: JJ	SHEET NO.
CHECKED BY:	DT-3.0
DATE: 06-20-2023	
DATE OF PRINT: 06-23-2023	

-Before starting land disturbing activities, the contractor is required to schedule a preconstruction meeting with Erosion and Sediment Control.

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SILT FENCE

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DIRT STATEMENT

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-	-	-
-	-	-
-	-	-
V2	7-27-23	REVISIONS

No. Date Description

REVISIONS



PO BOX 683096
MARIETTA, GA 30068
404-556-8691

FLO-WELL INFORMATION

SMYRNA, GEORGIA 30082

PROJECT NO.

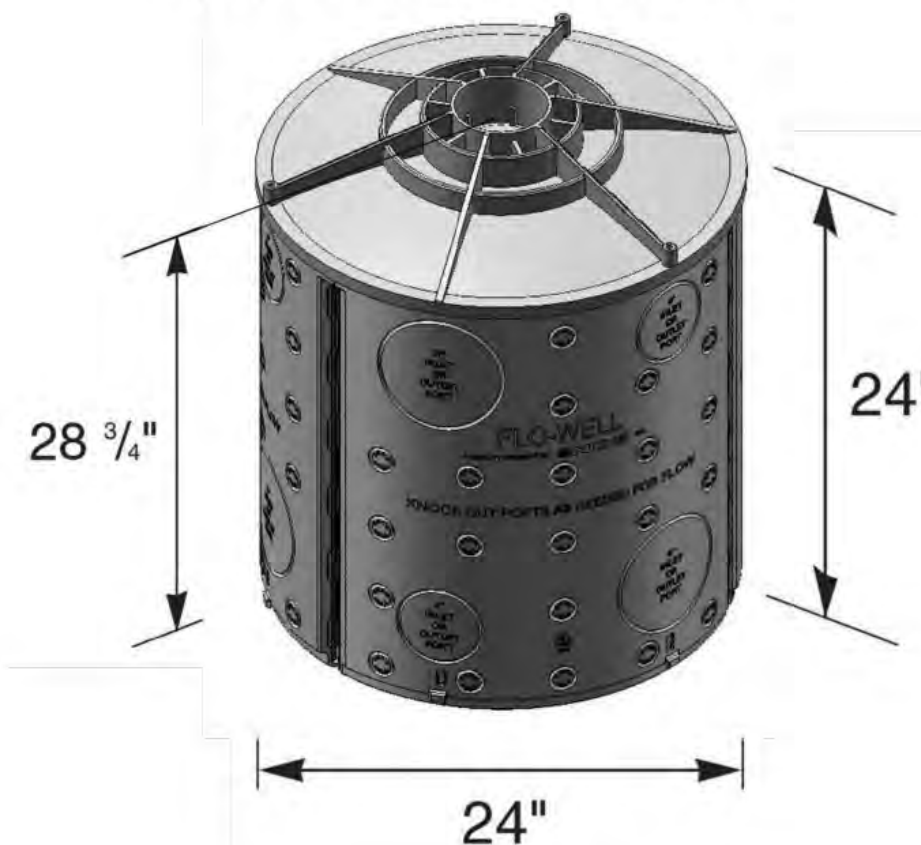
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DT-4.0

Powered by DynoSCAPE

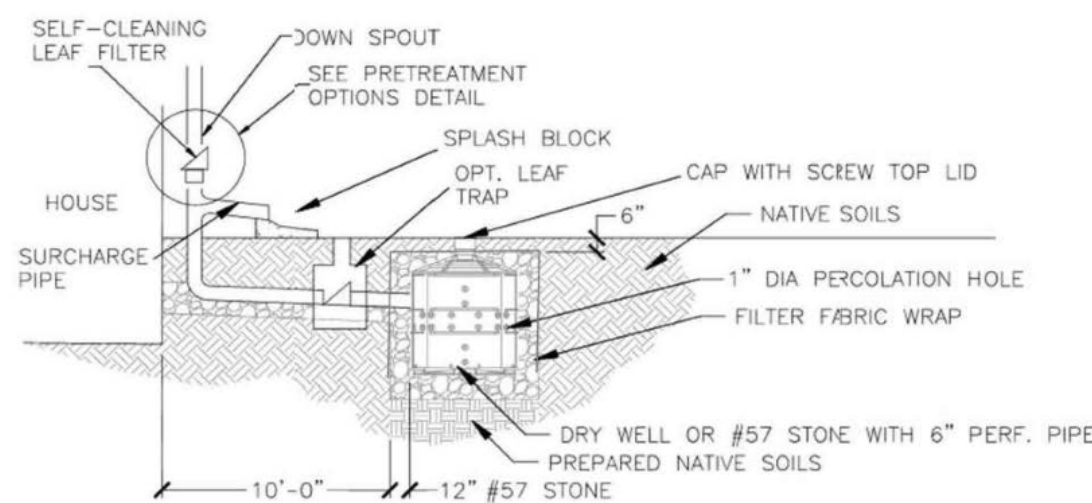
Backed Flo-Well(TM) Installation Detail
 Side-by-Side Flo-Well(TM) Installation Detail

1 NDS CALCULATOR
DT4 INFORMATION NTS

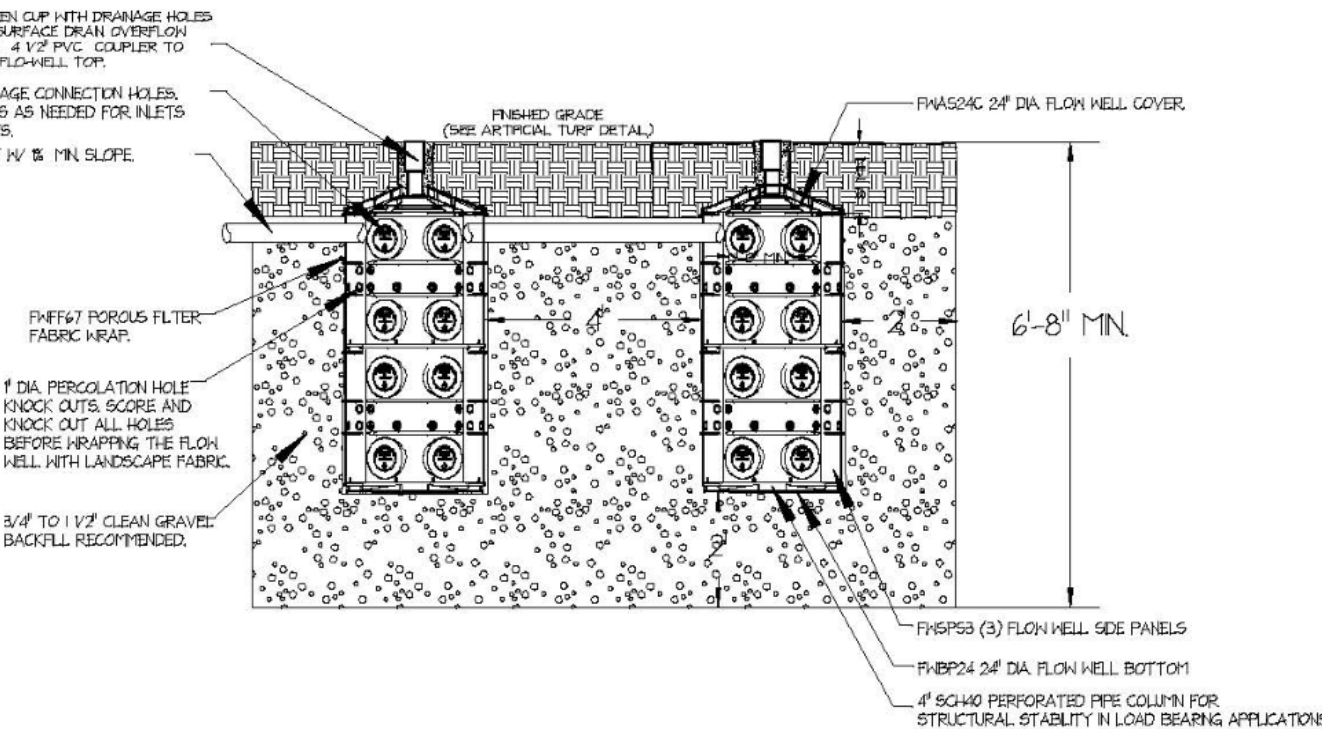


Part #: FWAS24
Material: UV Protected High Density Polypropylene (HDPE)
Colors: Black
Weight: 18.96 lbs each
Fits: 4" SCH-40 and DWV pipe
Will hold 50 gallons of water
Includes (3) FWSP33 Side Panels and (1) FWAS24C cover
LFWAS24 also includes (1) FWF67 Filter Fabric Wrap

4 FLO-WELL NTS DT4 SPECIFICATIONS



5 FLO-WELL
PT4 SECTION NTS



2 STACKED FO-WELLS
DT4 SECTION NTS

NOTE-

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OWNER/SITE INFO SHEET SIZE 24 X 36