



# SINGLE FAMILY HOME ADDITION

## 986 OAKVIEW DRIVE, SMYRNA, GA 30080

### - OVERVIEW -

TABLE OF CONTENTS	
SHEET	CONTENTS
CS	COVER SHEET
A1	FRONT ELEVATION (EXISTING & PROPOSED)
A2	LEFT ELEVATION (EXISTING & PROPOSED)
A3	RIGHT ELEVATION (EXISTING & PROPOSED)
A4	REAR ELEVATION (EXISTING & PROPOSED)
A5	EXISTING FLOOR PLAN & DEMOLITION PLAN
A6	PROPOSED FLOOR PLAN & ELECTRICAL PLAN
A7	FOUND/FLR FRAMING PLAN (EXISTING & PROPOSED)
A8	CEILING FRAMING PLAN (EXISTING & PROPOSED)
A9	ROOF PLAN (EXISTING & PROPOSED)
A10	TYPICAL WALL SECTION
A11	DECK DETAILS
S-	STRUCTURAL SHEETS AS NEEDED

GOVERNING CODES & STANDARDS
1. 2018 INTERNATIONAL RESIDENTIAL CODE, WITH GEORGIA AMENDMENTS.
2. 2018 INTERNATIONAL PLUMBING CODE, WITH GEORGIA AMENDMENTS.
3. 2018 INTERNATIONAL POOL & SPA CODE, WITH GEORGIA AMENDMENTS.
4. 2020 NATIONAL ELECTRICAL CODE, WITH GEORGIA AMENDMENTS.
5. 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/GA AMENDMENTS.
6. NFPA 101 LIFE SAFETY CODE AND T.P.I. SPECIFICATION FOR THE DESIGN, MANUFACTURE AND HANDLING OF WOOD TRUSSES.

DESIGN CRITERIA
ROOF LIVE LOAD: 20 PSF.
FLOOR LIVE LOAD: 40 PSF.
(INCLUDES DECKS, PATIOS, AND PORCHES)
BASIC WIND VELOCITY: 90 MPH
SEISMIC DESIGN CATEGORY: B
BEARING WALLS WITH LIGHT FRAME WALLS AND WOOD STRUCTURAL PANELS.

GENERAL CONDITIONS
1. ALL WORK SHALL BE COMPLETED MONDAY THRU FRIDAY BETWEEN THE HOURS OF 7:00AM AND 6:00PM. COURTESY OF THE NEIGHBORHOOD IS PARAMOUNT. LIMIT PROCESSES OR WORK THAT PRODUCE EXCESSIVE SOUND BETWEEN THE HOURS OF 9:00AM AND 3:00PM.
2. REMOVAL OF ALL DEBRIS (WOOD OR MASONRY) SHALL BE TAKEN OFF-SITE TO A LOCATION DESIGNATED BY THE GENERAL CONTRACTOR.
3. (UNDERGROUND SERVICE ALERT - IF APPLICABLE) DISCONNECT AND PROTECT EXISTING UTILITIES (WATER, GAS, ELECTRIC, CABLE TV, TELEPHONE, ETC.)
4. MAINTAIN UTILITY DISCONNECTIONS FOR FUTURE RECONNECTION, MAINTAIN EXISTING UTILITY/SITE RECONNECTION TO REDUCE RECONNECTION EXPENSES.
5. ALL PLANT MATERIAL (SHRUBS, TREES) TO BE SAVED SHALL BE TAGGED. ALL OTHERS IN WORK ARE TO BE REMOVED.
6. THE DEPTH OF ALL PROPOSED FOUNDATIONS FOOTINGS SHALL BE TO THE SAME DEPTH OF THE EXISTING FOOTINGS AND EXTEND 1'-0" BELOW THE FROST LINE (AS NEEDED).
7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC DIMENSIONS. <b>DO NOT SCALE FROM DRAWINGS.</b>
8. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS SHOWN WHEN IT IS OBVIOUS THAT UNKNOWN CONDITIONS AND/OR OBJECTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE PREPARATION OF THESE PLANS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CS DESIGN GROUP LLC AND THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO COMMUNICATE AS REQUIRED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH OPERATIONS.
10. ALL DIMENSIONS AT INTERIOR WALLS ARE TO THE OUTSIDE FACE OF THE STUD U.N.O.
11. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO THE OUTSIDE FACE OF THE STUD U.N.O.

GENERAL PLAN NOTES:  
1. ALL MEASUREMENTS TO BE SITE VERIFIED



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4199 IDLEWOOD PARC COURT  
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PH: 404.441.8067 FX: 770.908.0024  
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CLIENT INFORMATION:

**HARMONY HOME BUILDERS LLC**  
970 PINEDALE DRIVE  
SMYRNA, GA 30080  
(770) 853-7905  
24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
**986 OAKVIEW DR. SMYRNA, GA 30080**  
**Cover Sheet**  
DESIGNED BY: C.SAMUDA 02/02/24  
SCALE: 1/8" = 1'-0" < 11"x17"  
1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:	
EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

REVISIONS:			
No.	Date	Revisions	App.
1	.	.	.
2	.	.	.

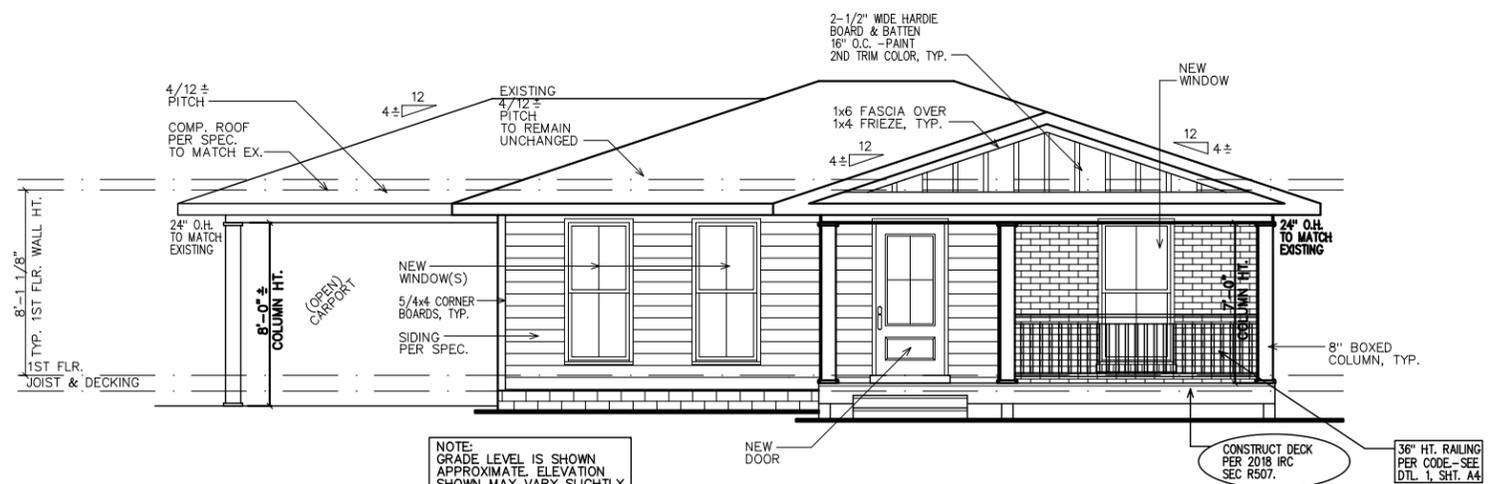
SHEET NUMBER:



LEGEND  
 4 DETAIL NUMBER  
 9 SHEET NUMBER



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

GENERAL PLAN NOTES:  
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 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Front Elevation**  
 DESIGNED BY: C. SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11"x17"  
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SQUARE FOOTAGE:

EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

REVISIONS:

No.	Date	Revisions	App.
1			
2			

SHEET NUMBER:  
**A1**

CLIENT INFORMATION:

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BUILDERS LLC**  
970 PINEDALE DRIVE  
SMYRNA, GA 30080  
(770) 853-7905  
24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
986 OAKVIEW DR. SMYRNA, GA 30080  
**Left Elevation**  
DESIGNED BY: C.SAMUDA 02/02/24  
SCALE:  
1/8" = 1'-0" < 11"x17"  
1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:  
EX 1ST FLR. 960  
PR. 1ST ADD 790  
NEW TOTAL 1750

JOB NUMBER:  
**24-1006**

REVISIONS:

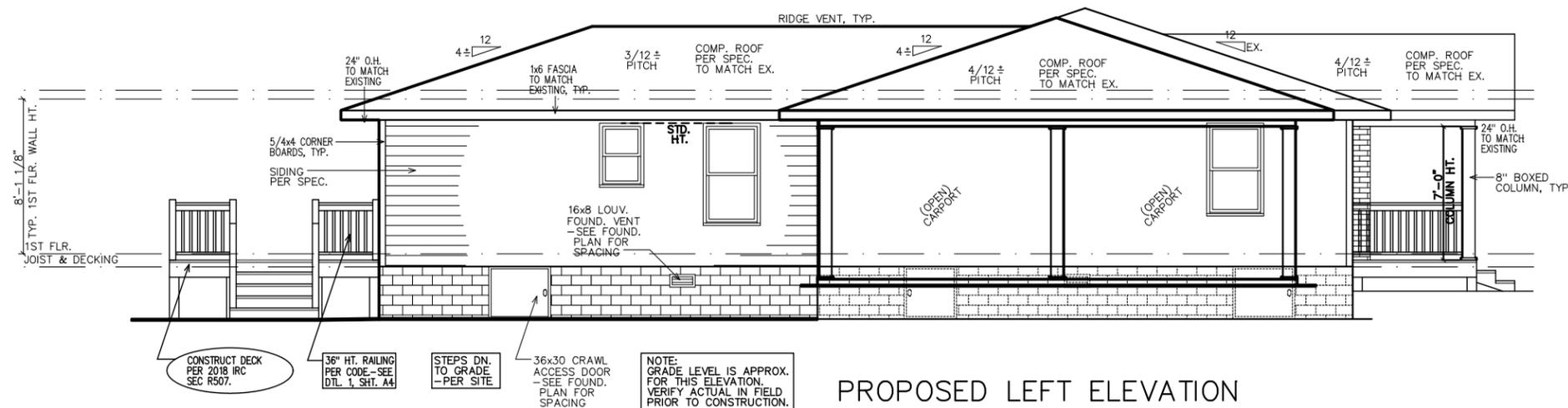
No.	Date	Revisions	App.
1			
2			

SHEET NUMBER:

**A2**



EXISTING LEFT ELEVATION



PROPOSED LEFT ELEVATION

GENERAL PLAN NOTES:  
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**Left Elevation**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
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 1/4" = 1'-0" < 24' x 36"

SQUARE FOOTAGE:

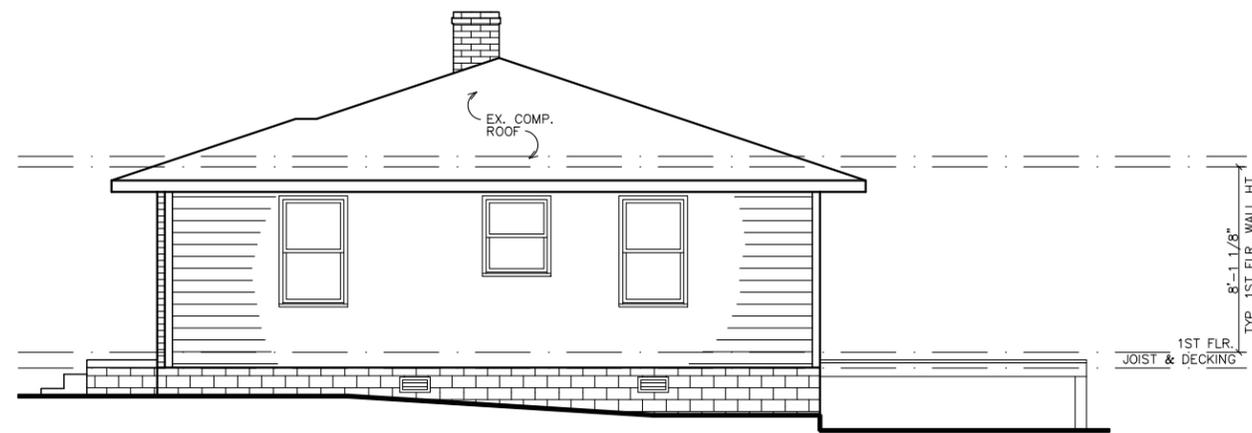
EX 1ST FLR.	960
PR. 1ST ADD	790
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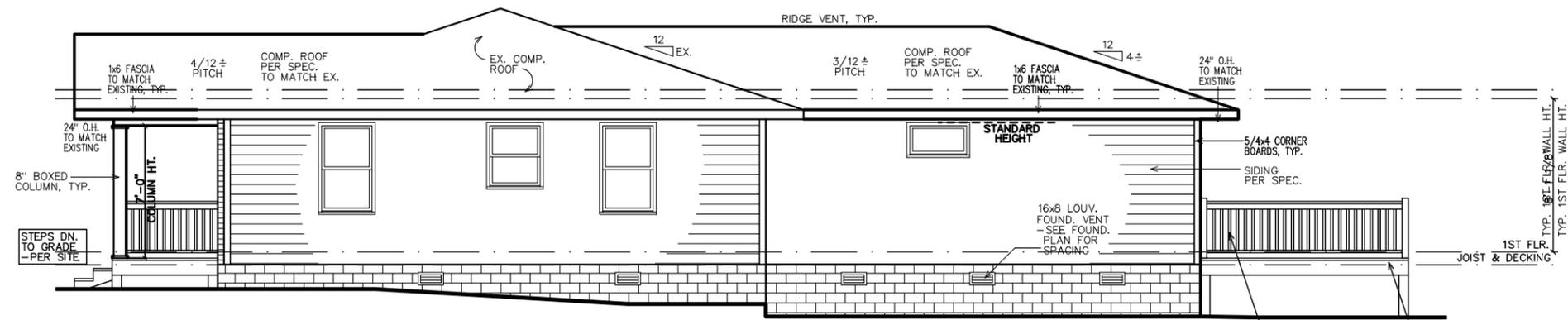
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2	.	.	.

SHEET NUMBER:  
**A3**



EXISTING RIGHT ELEVATION



PROPOSED RIGHT ELEVATION

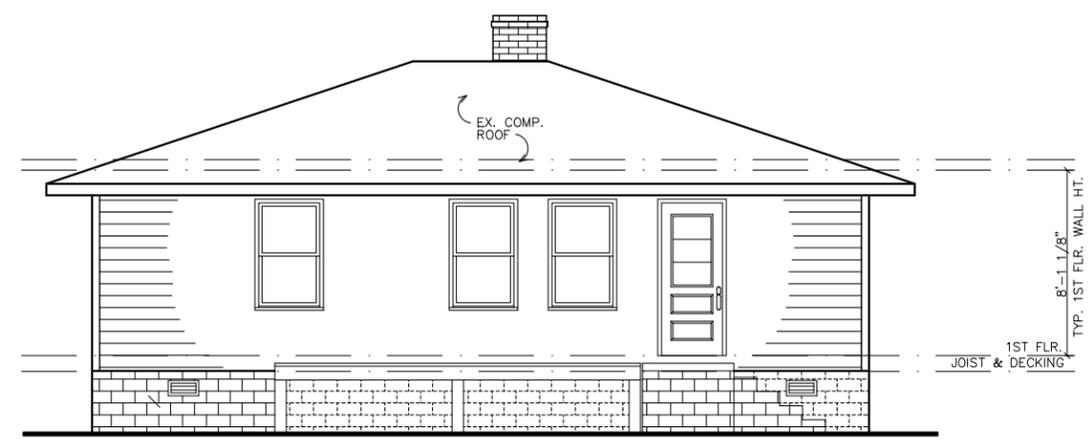
GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED

HOME SITE ADDRESS: 986 OAKVIEW DRIVE. SMYRNA, GA 30080

RELEASE FOR CONSTRUCTION



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EXISTING REAR ELEVATION

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 SMYRNA, GA 30080  
 (770) 853-7905  
 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Rear Elevation**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11"x17"  
 1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:

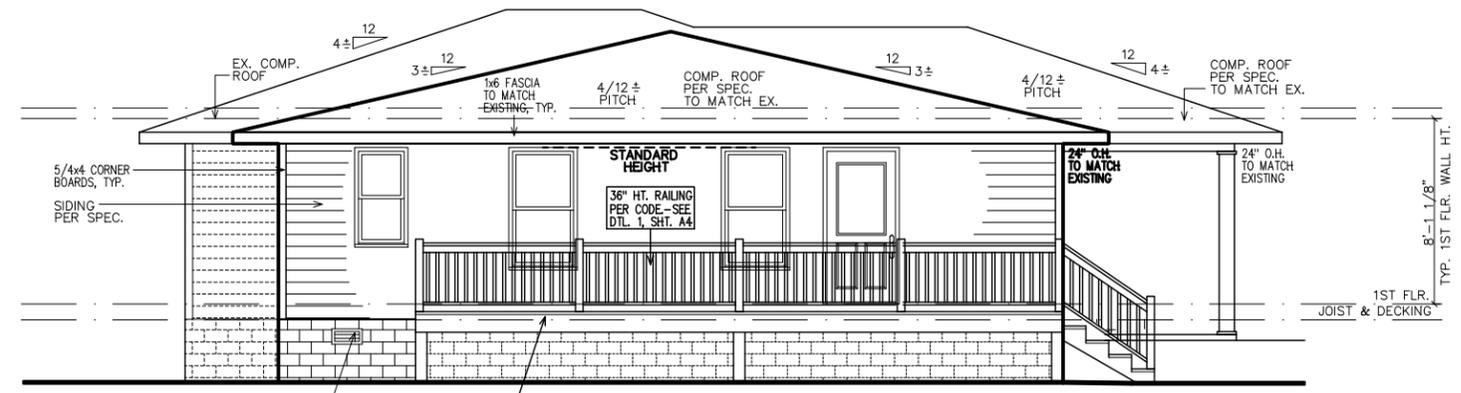
EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

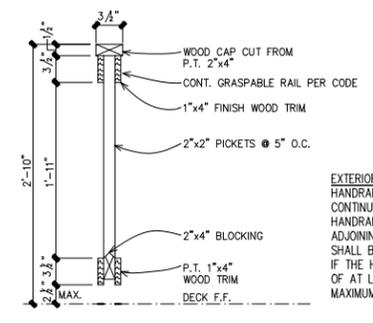
REVISIONS:

No.	Date	Revisions	App.
1			
2			

SHEET NUMBER:  
**A4**



PROPOSED REAR ELEVATION



1 HANDRAIL & GRIP DETAIL  
 A4 SC: N.T.S.

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED

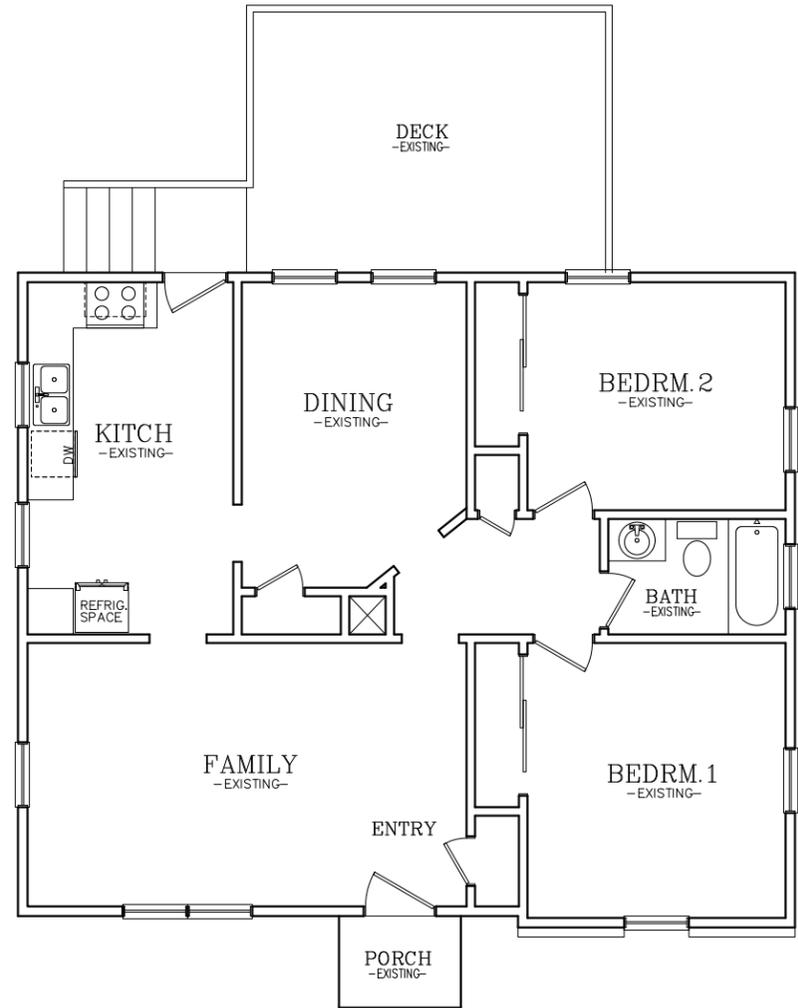
HOME SITE ADDRESS: 986 OAKVIEW DRIVE. SMYRNA, GA 30080

RELEASE FOR CONSTRUCTION

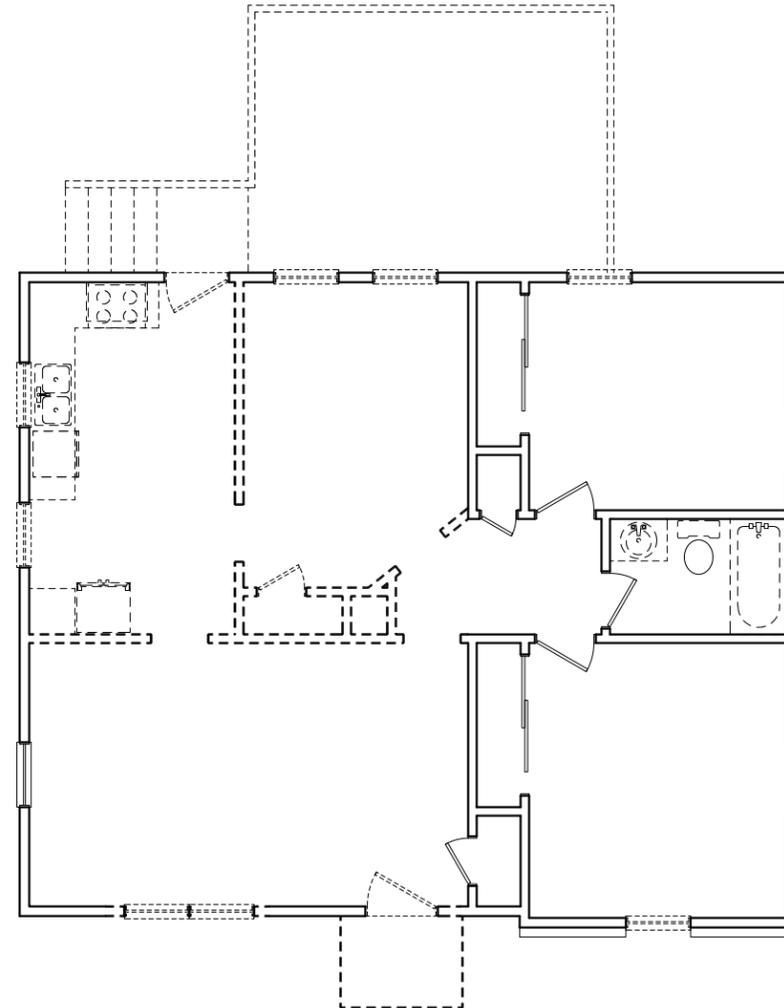


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DEMOLITION LEGEND	
---	ALL REMOVED/DEMOLISHED WALLS
- - -	ALL REMOVED/DEMOLISHED COUNTER/FIXTURES
⌘	ALL REMOVED/DEMOLISHED WINDOWS
----	ALL REMOVED/DEMOLISHED BRICK VENEER
1. CONTRACTOR SHALL ASSESS ANY/ALL REUSABLE ITEMS.	
2. ALL REMOVED WINDOWS SHALL BE ASSESSED BY CONTRACTOR TO BE REUSED.	



EXISTING FIRST FLOOR PLAN



DEMOLITION PLAN

CLIENT INFORMATION:

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PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Existing/Demolition Plan**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11"x17"  
 1/4" = 1'-0" < 24"x36"

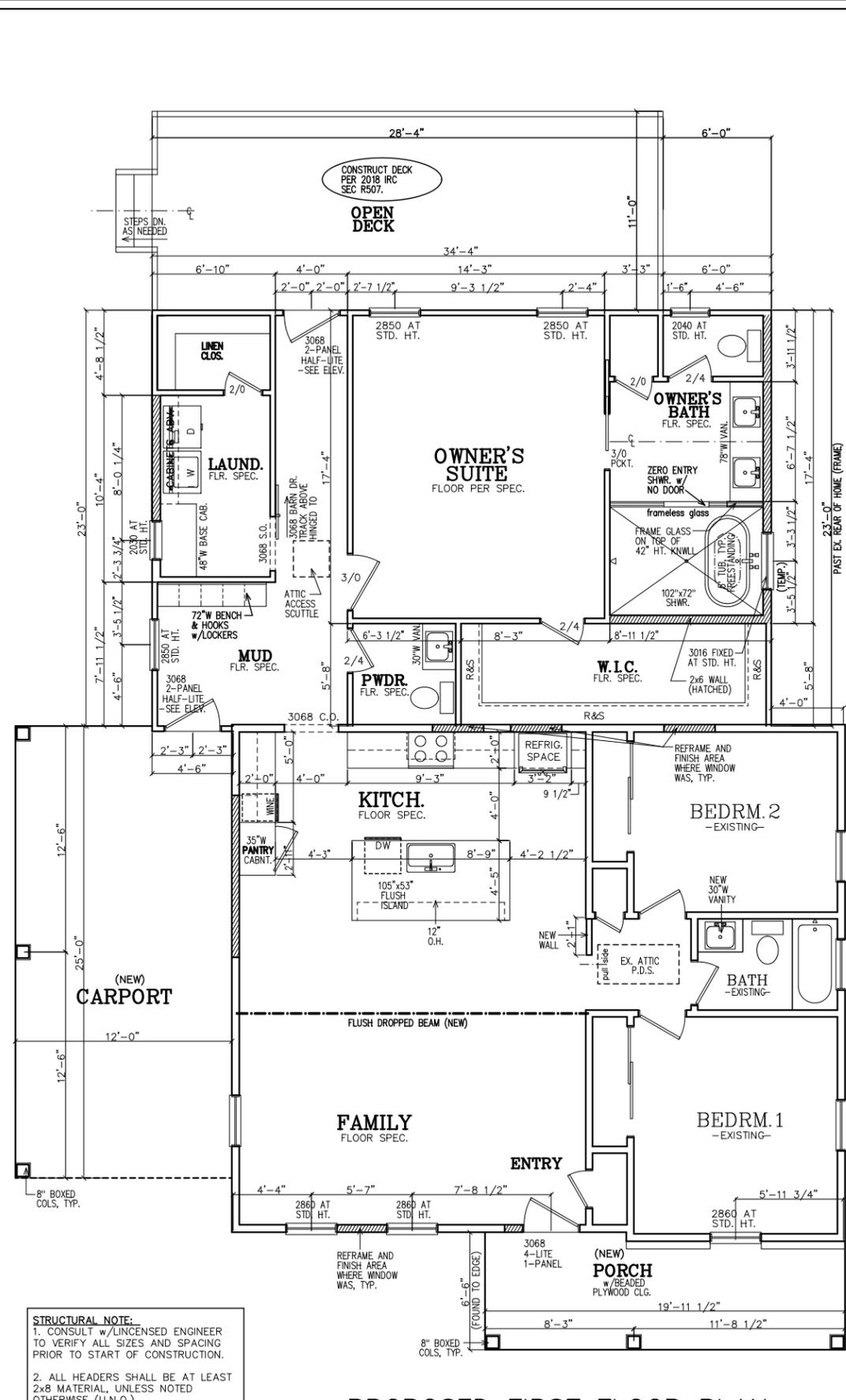
SQUARE FOOTAGE:	
EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

REVISIONS:			
No.	Date	Revisions	App.
1	.	.	.
2	.	.	.

SHEET NUMBER:  
**A5**

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED



PROPOSED FIRST FLOOR PLAN

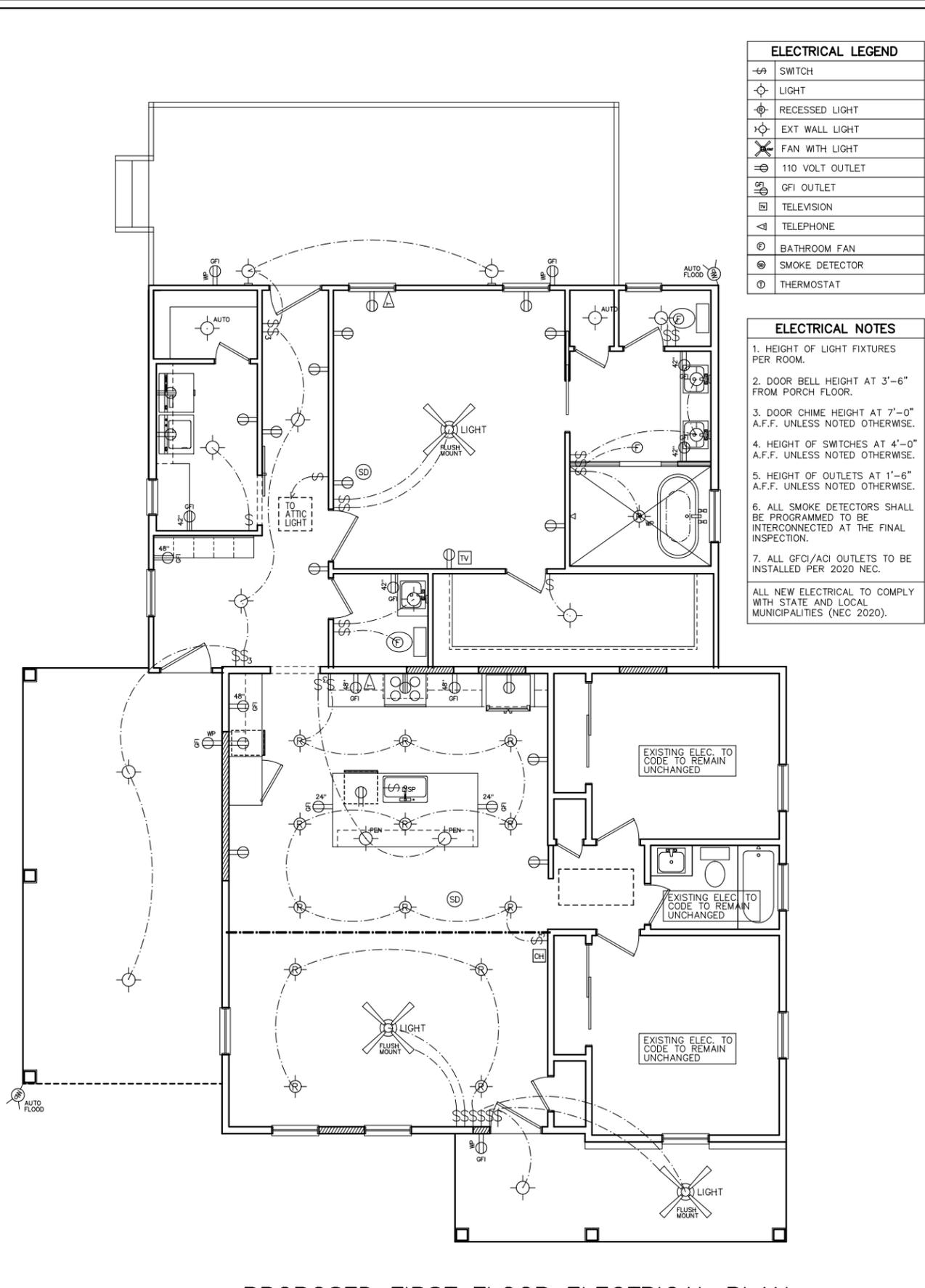
- NOTE TO FRAMERS:**
1. ALL MATERIALS AND WORKMANSHIP MUST CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOC.
  2. LUMBER FOR HEADERS, JOISTS, AND RAFTERS IS TO BE #1 SYP, OR EQUAL. ALL BEAMS ARE TO BE CALCULATED AND SIZED ACCORDINGLY.
  3. DO NOT CUT FRAMING MEMBERS FOR ANY PLUMBING, ELECTRICAL OR MECHANICAL SYSTEMS WITHOUT REINFORCING THE ALTERED MEMBER TO ITS ORIGINAL CAPACITY.
  4. ALL 2x4 MATERIAL TO BE STUD GRADE SPF OR EQUAL, UNLESS NOTED OTHERWISE (U.N.O.)
  5. ALL LUMBER THAT IS IN CONTACT WITH CONCRETE OR MASONRY IS TO BE OF PRESSURE TREATED MATERIAL.
  6. INTERIOR AND EXTERIOR LOAD BEARING WALLS TO BE 2x4 OR 2x6 IN SIZE AND BE OF STUD GRADE SPF MATERIAL.
  7. ALL KNEE WALL CONSTRUCTION TO BE BRACED AT 4'-0" O.C. MAX.
  8. ALL DIMENSIONS ARE FROM STUD WALL TO STUD WALL.

**FIRST FLOOR NOTES:**  
 ALL 1ST FLR. CEILING HTS. TO BE CONTINUOUS 8'-0" U.N.O. ALL DOORS TO BE "80 HIGH U.N.O. ALL 1ST FLR. WINDOWS TO BE AT STD. (82") HT. UNLESS NOTED OTHERWISE.

**INSULATION NOTES:**  
 1. WALL INSULATION SHALL BE A MINIMUM OF R-13.  
 2. CEILING INSULATION SHALL BE A MINIMUM OF R-38.  
 3. SLAB INSULATION PER CODE.  
 \*ALL UNLESS NOTED OTHERWISE\*

**NOTE--ALL ANGLES ON THIS PLAN ARE 90deg. OR 45deg U.N.O.**

**NOTE: ALL DIMENSIONS ARE TO FRAMED WALLS**



PROPOSED FIRST FLOOR ELECTRICAL PLAN

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 (770) 853-7905  
 24 HR. CONTACT: NICK VINSON

**PROJECT INFORMATION:**

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080

Floor Plan/Electrical Plan  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE: 1/8" = 1'-0" < 11"x17" < 1/4" = 1'-0" < 24"x36"

**SQUARE FOOTAGE:**

EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

**JOB NUMBER:**  
 24-1006

**REVISIONS:**

No.	Date	Revisions	App.
1			
2			

**SHEET NUMBER:**  
 A6



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PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Ex Crawl Plan/Prop Crawl Plan**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11" x 17"  
 1/4" = 1'-0" < 24" x 36"

SQUARE FOOTAGE:

EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

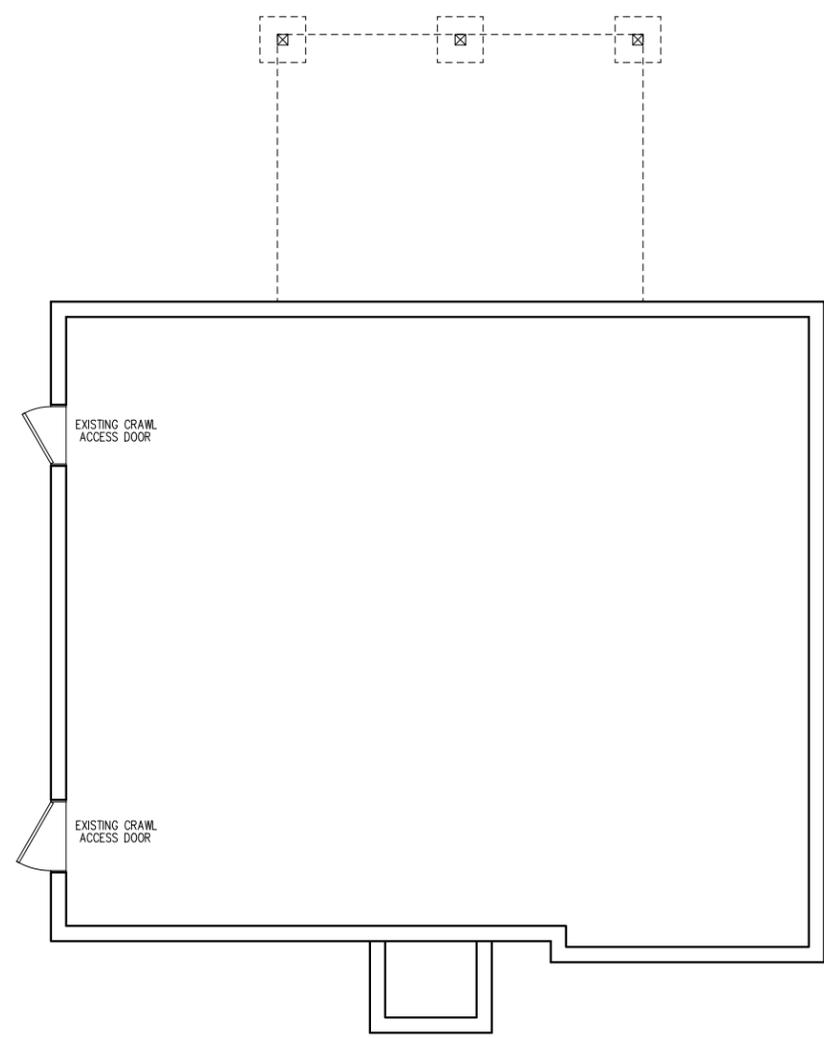
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No.	Date	Revisions	App.
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2			

SHEET NUMBER:  
**A7**

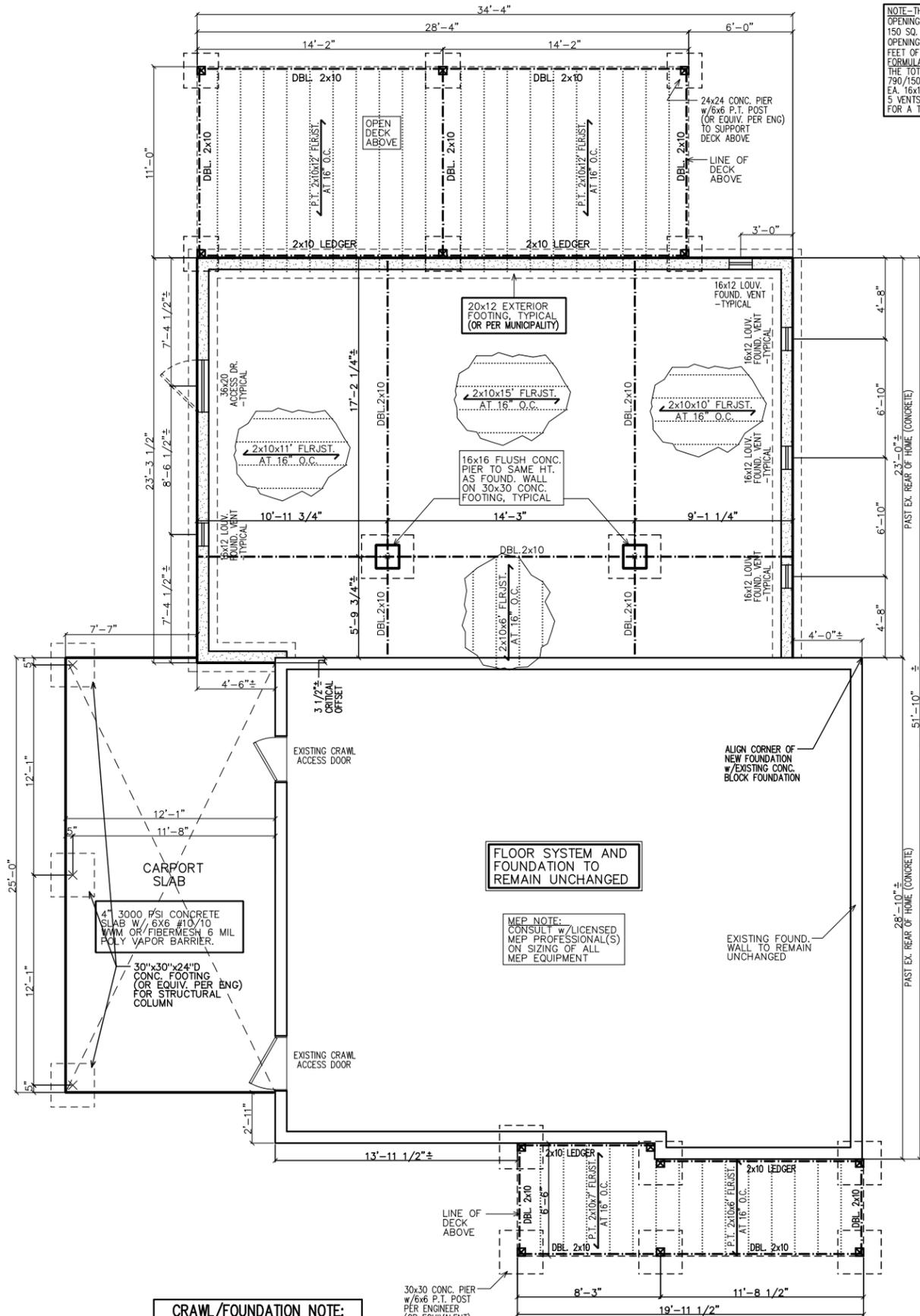
HOME SITE ADDRESS: 986 OAKVIEW DRIVE, SMYRNA, GA 30080

RELEASE FOR CONSTRUCTION



EXISTING CRAWL/FOUNDATION PLAN

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED



PROPOSED CRAWL/FOUND. PLAN

NOTE-THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE AT LEAST 1 SQ. FT. FOR EA. 150 SQ. FT. OF UNDERFLOOR SPACE AREA. SAID OPENINGS SHALL BE COVERED AND BE WITHIN 3 FEET OF EA. CORNER OF THE BUILDING PER CODE. FORMULA:  
 THE TOTAL UNDERFLOOR SPACE AREA IS 790 SQ. FT. 790/150=5.3 SQ. FT. OF VENTILATION REQUIRED. EA. 16x12 OPENING EQUALS 1.3 SQ. FT. 5 VENTS AT 1.3 SQ. FT. HAVE BEEN PROVIDED FOR A TOTAL OF 6.5 SQ. FT.

WALL/BEAM LEGEND

	8" BLOCK CONC. FOUNDATION WALL
	DOUBLE JOIST
	FLOOR JOIST

INSULATION NOTES:  
 1. WALL INSULATION SHALL BE A MINIMUM OF R-13.  
 2. FLOOR INSULATION SHALL BE A MINIMUM OF R-19.  
 3. SLAB INSULATION PER CODE.  
 \*ALL UNLESS NOTED OTHERWISE\*

NOTE:  
 FOOTING TO EXTEND LOWER THAN ANY UTILITY/MUNICIPAL PIPE (WHERE APPLICABLE) OR AT LEAST AT AN ELEVATION INTERSECTING A 1:1 SLOPE FROM WHERE THE PIPE WOULD BE EXCAVATED, TYP.

NOTE-STEP DOWN FOUND. WALLS AS SITE ALLOWS

- CONSTRUCTION NOTES
- ALL WALLS ACCORDING TO THE DRAWINGS ARE 2x4 STUDS UNLESS NOTED OTHERWISE.
  - ALL WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
  - ALL INTERIOR AND EXTERIOR LOAD BEARING BASEMENT FRAMING TO BE 2x4 STUD WALLS AT 16" O.C. w/DOUBLE TOP PLATES FOR ONE-STORY PLANS MINIMUM.
  - ALL INTERIOR AND EXTERIOR LOAD BEARING BASEMENT FRAMING TO BE 2x6 STUD WALLS AT 16" O.C. w/DOUBLE TOP PLATES FOR TWO-STORY PLANS MINIMUM.
  - ALL INTERIOR NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. w/SINGLE TOP PLATE MINIMUM.
  - ALL ANGLES ON PLAN ARE 45 DEGREES UNLESS NOTED OTHERWISE.
  - ALL WINDOW SIZES ARE NOMINAL.
  - ALL GLASS REQUIRED TO BE TEMPERED SHALL CONFORM TO APPLICABLE BUILDING CODES.
  - ALL GYPSUM BOARD AT BATHUBS AND SHOWERS SHALL BE WATER RESISTANT.
  - ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.

CRAWL/FOUNDATION NOTE:  
 CONSULT w/LICENSED ENGINEER TO VERIFY ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.

30x30 CONC. PIER w/8x6 P.T. POST PER ENGINEER (OR EQUIVALENT) TO SUPPORT PORCH ABOVE



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 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
 Ex Clg Plan/Prop Clg Plan  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11"x17"  
 1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:

EX 1ST FLR.	960
PR. 1ST ADD	790
NEW TOTAL	1750

JOB NUMBER:  
**24-1006**

REVISIONS:

No.	Date	Revisions	App.
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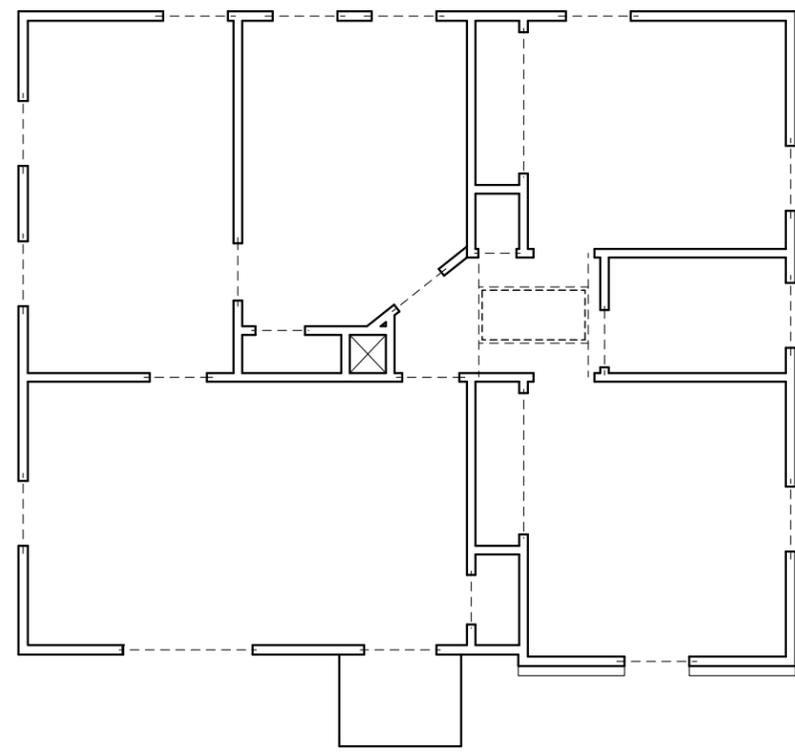
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**A8**

GENERAL CEILING FRAMING NOTES:

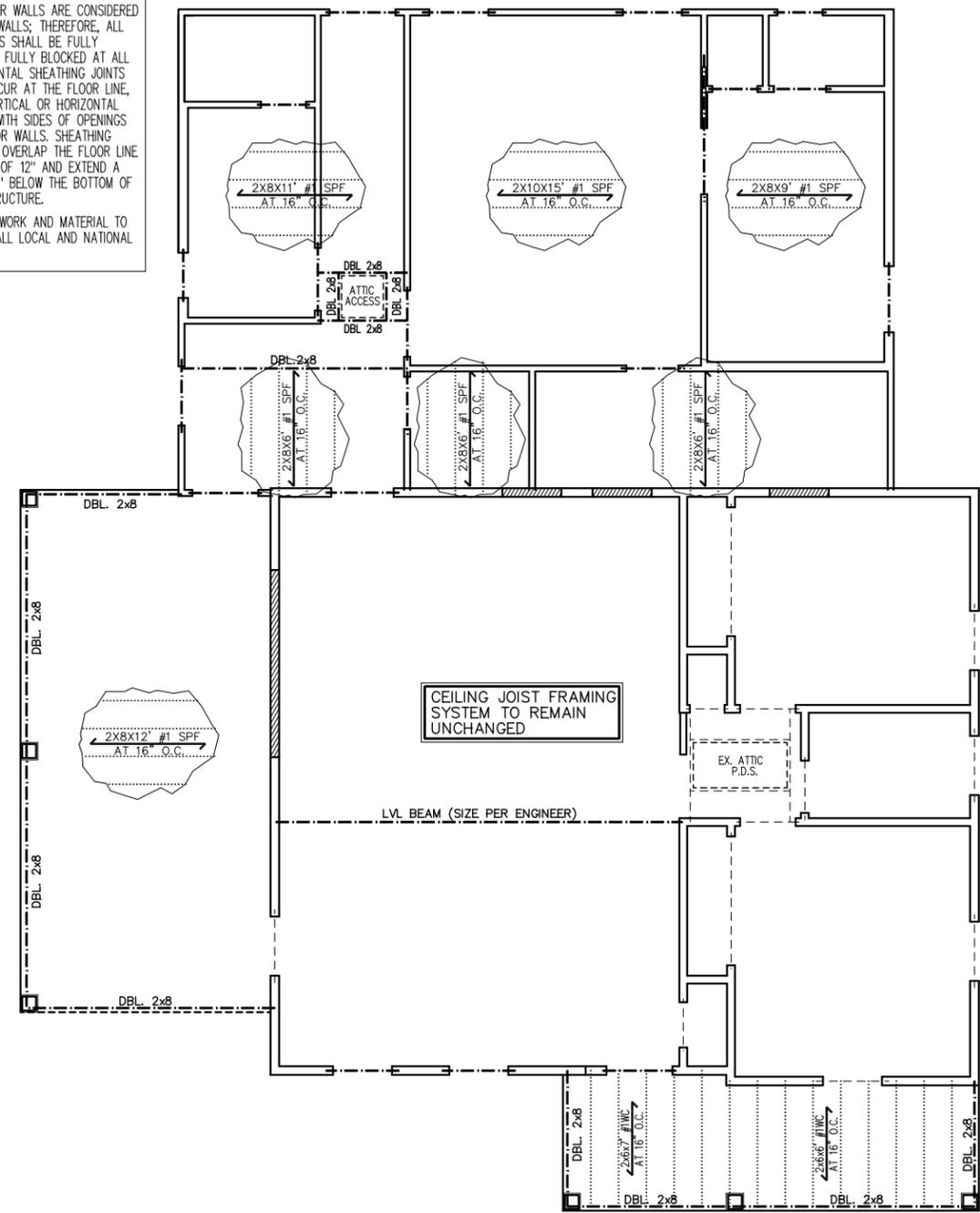
1. HEADERS SHALL BE 2x10 #1SYP UNLESS NOTED OTHERWISE.
2. CEILING JOISTS SHALL BE SPACED 16" O.C. #1WC UNLESS NOTED OTHERWISE.
3. \* ATTACH 2x2 TO BOTTOM OF ROOF TRUSSES.
4. EACH ROOF RAFTER/TRUSS SHALL BE TIED DOWN TO BOTH DOUBLE TOP PLATES WITH STRAPS OF SUFFICIENT LENGTH TO SPAN FROM THE ROOF RAFTER, ACROSS THE BAND AT THE CEILING RAFTERS, AND EXTENDING (AT A MINIMUM) TO THE BOTTOM OF THE LOWER PLATE.
5. ALL EXTERIOR WALLS ARE CONSIDERED TO BE SHEAR WALLS; THEREFORE, ALL EXTERIOR WALLS SHALL BE FULLY SHEATHED AND FULLY BLOCKED AT ALL EDGES. HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12" AND EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
6. ALL FRAME WORK AND MATERIAL TO COMPLY WITH ALL LOCAL AND NATIONAL CODES.

CEILING FRAMING NOTE:

CONSULT w/LICENSED ENGINEER TO VERIFY ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



EXISTING CEILING FRAMING PLAN



PROPOSED CEILING FRAMING PLAN

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED

CLIENT INFORMATION:  
**HARMONY HOME BUILDERS LLC**  
 970 PINEDALE DRIVE  
 SMYRNA, GA 30080  
 (770) 853-7905  
 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:  
**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Ex Roof Plan/Prop Roof Plan**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE: 1/8" = 1'-0" < 11"x17" < 1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:  
 EX 1ST FLR. 960  
 PR. 1ST ADD 790  
 NEW TOTAL 1750

JOB NUMBER:  
**24-1006**

REVISIONS:

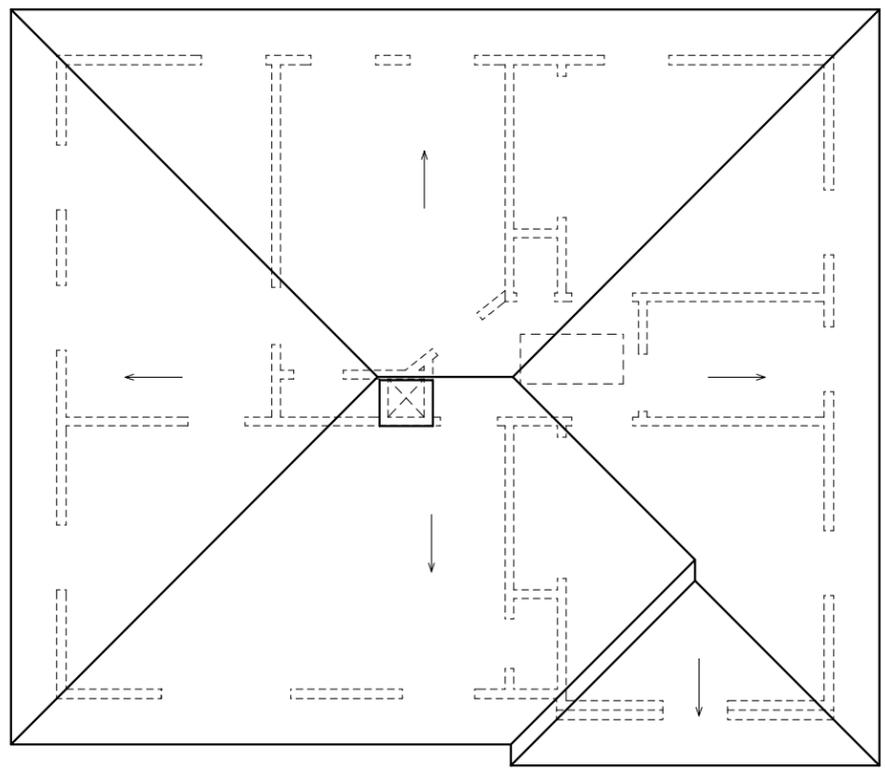
No.	Date	Revisions	App.
1			
2			

SHEET NUMBER:  
**A9**

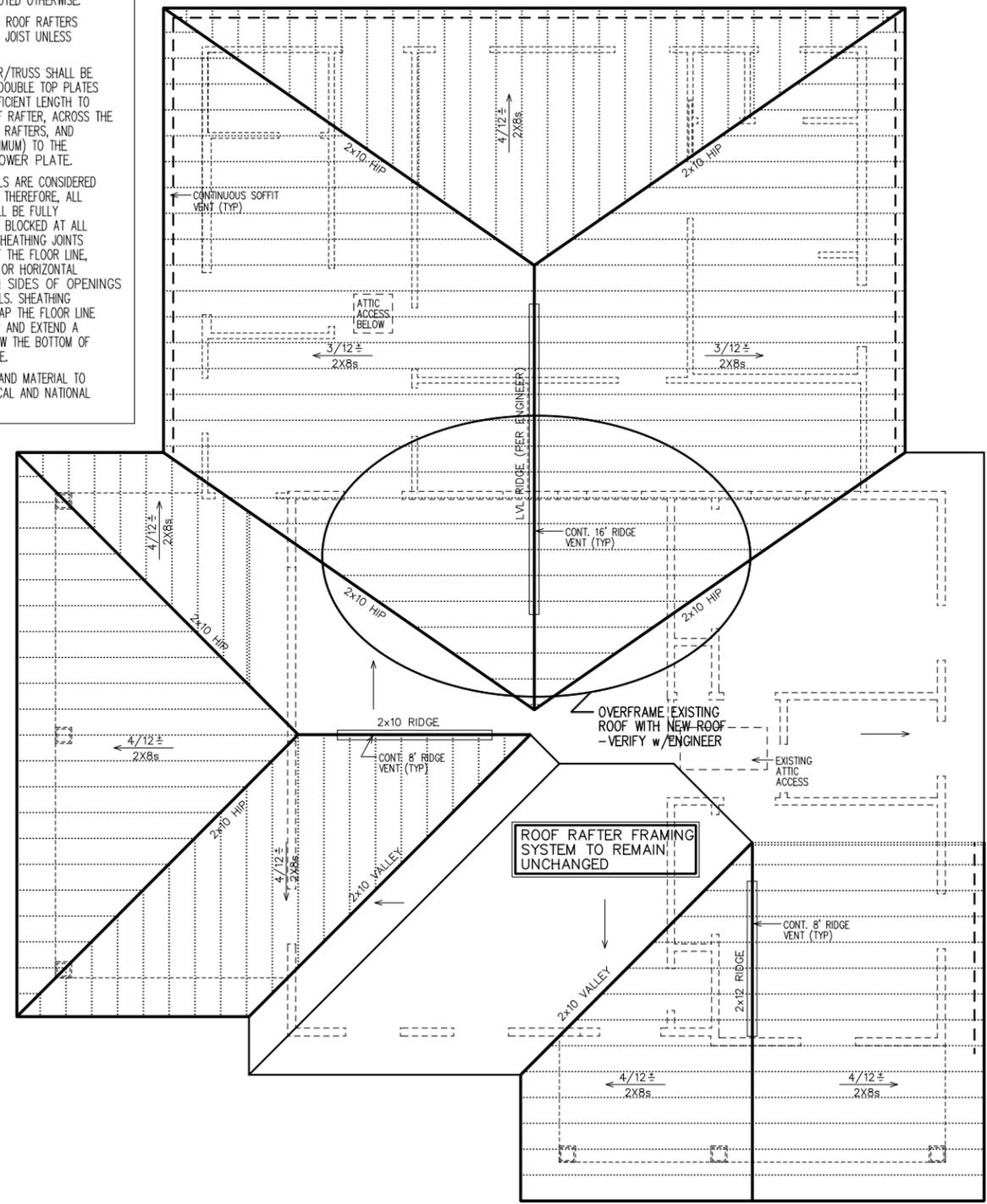
- GENERAL ROOF NOTES:**
1. ROOF RAFTERS SHALL BE 2x6 AT 16" O.C. #1WC UNLESS NOTED OTHERWISE.
  2. 24" ROUGH OVERHANG AT ALL LOCATIONS UNLESS NOTED OTHERWISE.
  3. PITCH FIRST FLOOR ROOF RAFTERS FROM TOP OF CEILING JOIST UNLESS NOTED OTHERWISE.
  4. EACH ROOF RAFTER/TRUSS SHALL BE TIED DOWN TO BOTH DOUBLE TOP PLATES WITH STRAPS OF SUFFICIENT LENGTH TO SPAN FROM THE ROOF RAFTER, ACROSS THE BAND AT THE CEILING RAFTERS, AND EXTENDING (AT A MINIMUM) TO THE BOTTOM OF THE LOWER PLATE.
  5. ALL EXTERIOR WALLS ARE CONSIDERED TO BE SHEAR WALLS; THEREFORE, ALL EXTERIOR WALLS SHALL BE FULLY SHEATHED AND FULLY BLOCKED AT ALL EDGES. HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12" AND EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE FLOOR STRUCTURE.
  6. ALL FRAME WORK AND MATERIAL TO COMPLY WITH ALL LOCAL AND NATIONAL CODES.

**ATTIC VENT CALCULATIONS (ADDITION):**  
 1585/300 = 5.28 SQ.FT.REQ.  
 RIDGE VENT: (5.28/2) x 144 / 12 = 32 LF  
 24 LF PROVIDED  
 SOFFIT VENT: (5.28/2) x 144 / 9 = 43 LF  
 80 LF PROVIDED

**ROOF FRAMING NOTE:**  
 CONSULT w/LICENSED ENGINEER TO VERIFY ALL SIZES AND SPACING PRIOR TO CONSTRUCTION.



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED

CLIENT INFORMATION:

**HARMONY HOME BUILDERS LLC**  
 970 PINEDALE DRIVE  
 SMYRNA, GA 30080  
 (770) 853-7905  
 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Sections/Details**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE: 1/8" = 1'-0" < 11"x17"  
 1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:  
 EX 1ST FLR. 960  
 PR. 1ST ADD 790  
 NEW TOTAL 1750

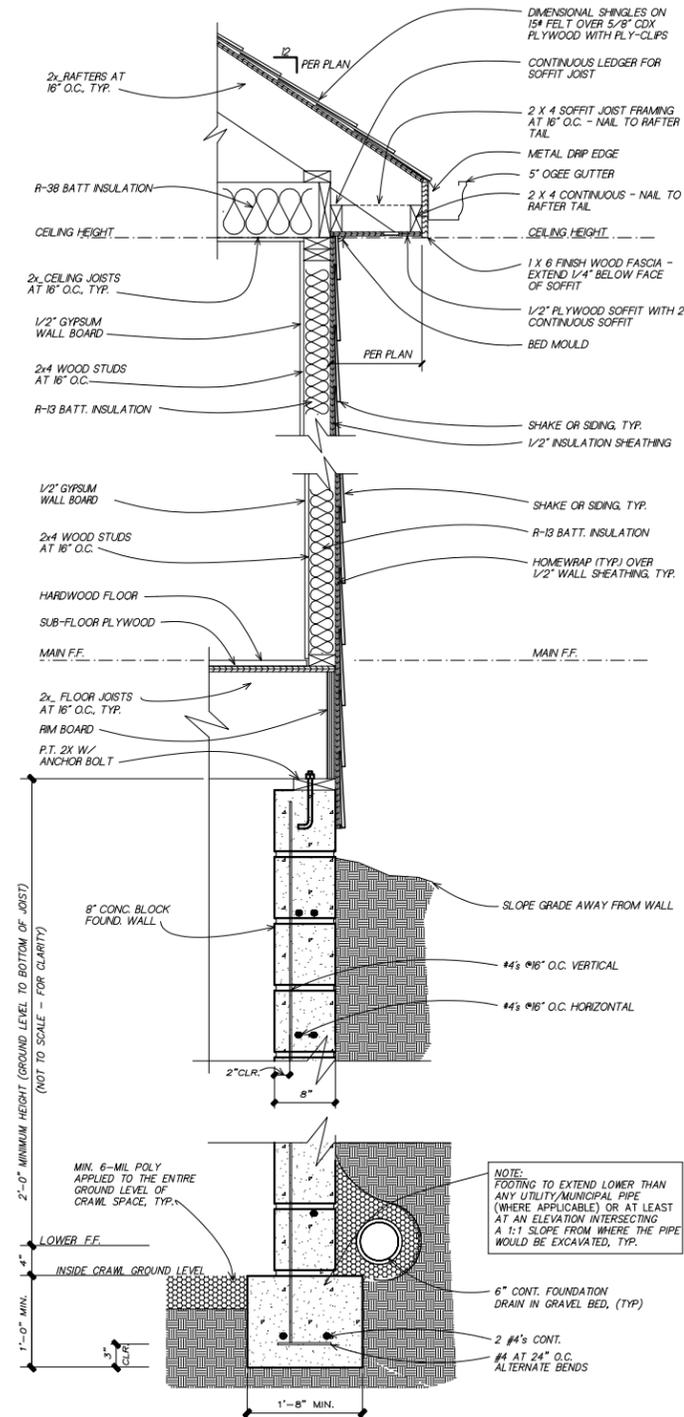
JOB NUMBER:  
**24-1006**

REVISIONS:

No.	Date	Revisions	App.
1	.	.	.
2	.	.	.

SHEET NUMBER:

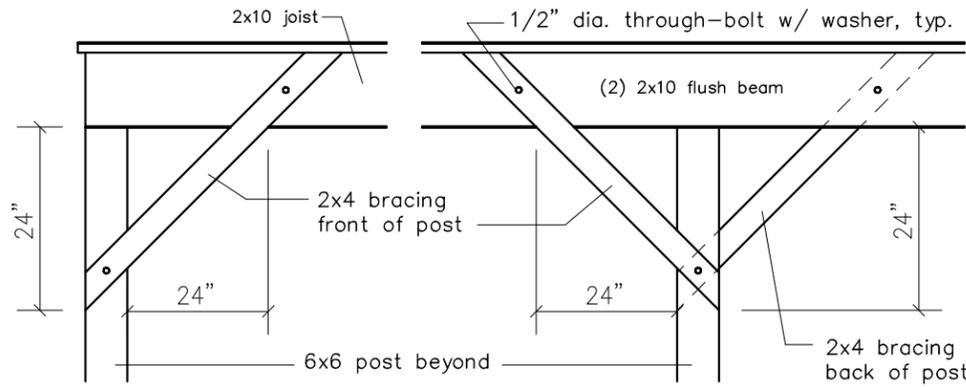
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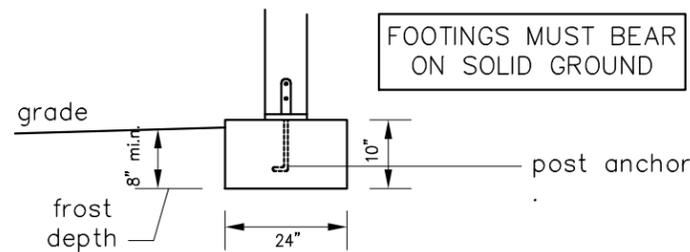
**1 TYPICAL WALL SECTION**  
 SC: N.T.S.  
 (GAPS OR PROPORTIONS SHOWN IN DETAIL ARE FOR CLARITY)

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED

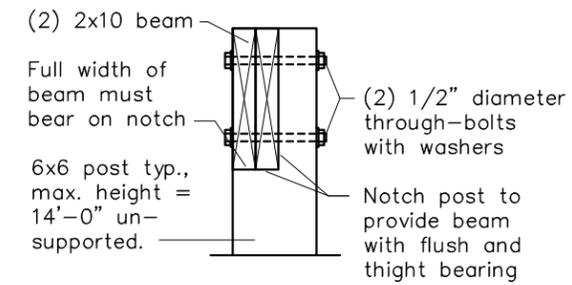
NOTE: ALL DETAILS ON THIS SHEET REFERENCE THE OPEN DECK AND ARE TO BE APPLIED ON AN AS NEEDED BASIS.



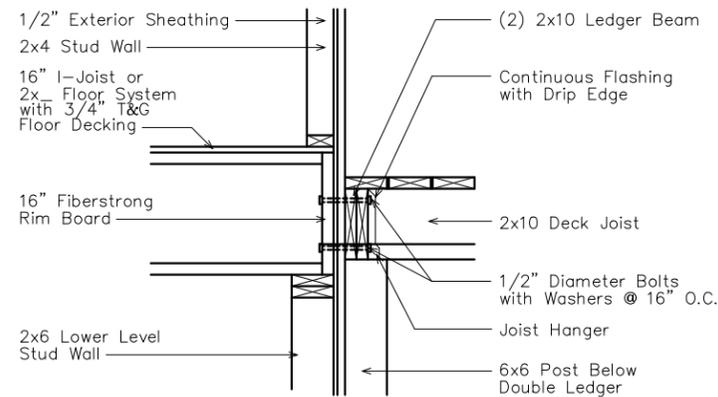
KNEE BRACING AT END AND MIDDLE DECK POST



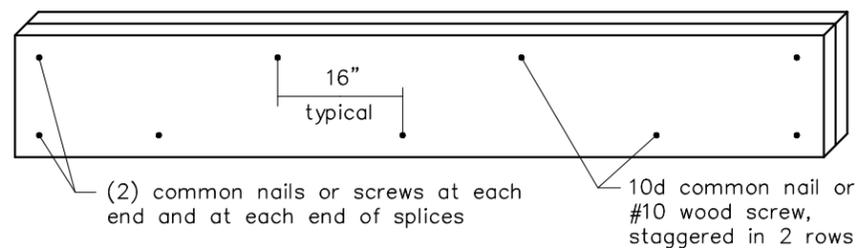
DECK POST FOOTING DETAIL



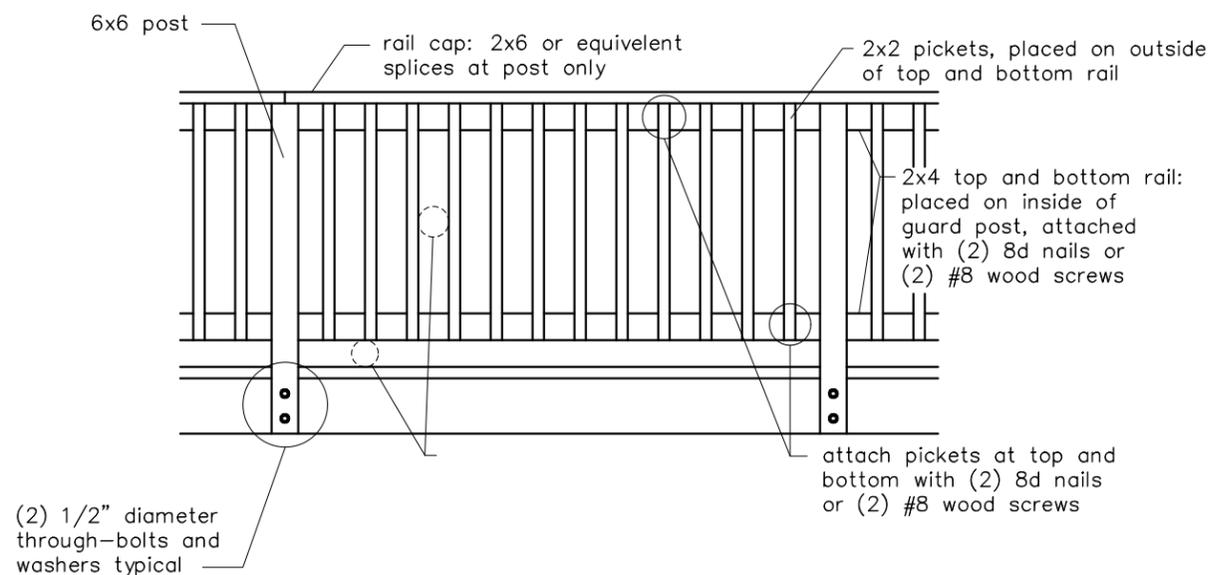
DECK POST TO BEAM CONNECTION DETAIL



SECTION AT DECK / HOUSE



RIM BEAM ASSEMBLY DETAIL



DECK WOOD GUARD RAIL DETAIL



DESIGN ■ PLANNING ■ PALETTES  
 4199 IDLEWOOD PARC COURT  
 TUCKER, GEORGIA 30084  
 PH: 404.441.8067 FX: 770.908.0024  
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 CHRIS@CSDESIGNGROUPLLC.COM  
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 24 HR. CONTACT: NICK VINSON

PROJECT INFORMATION:

**SF HOME REMODEL/ADDITION**  
 986 OAKVIEW DR. SMYRNA, GA 30080  
**Deck Details**  
 DESIGNED BY: C.SAMUDA 02/02/24  
 SCALE:  
 1/8" = 1'-0" < 11"x17"  
 1/4" = 1'-0" < 24"x36"

SQUARE FOOTAGE:  
 EX 1ST FLR. 960  
 PR. 1ST ADD 790  
 NEW TOTAL 1750

JOB NUMBER:  
 24-1006

REVISIONS:

No.	Date	Revisions	App.
1			
2			

SHEET NUMBER:

**A11**

GENERAL PLAN NOTES:  
 1. ALL MEASUREMENTS TO BE SITE VERIFIED