

SITE

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL. MAP ID 13067C0119H.  
EFFECTIVE DATE: 3/4/2013 ZONES: X  
WATERS OF THE STATE EXIST WITHIN 200 FEET OF THE PROJECT SITE.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

- LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL PARTS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD ELEVATION.

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY REVEAL.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

TYPE OF USE: RESIDENTIAL

BOUNDARY LINES OBTAINED FROM THE ACTUAL FIELD-RUN SURVEY RECORDS.

PROPERTY IS ZONED R-15  
CITY OF SMYRNA  
BUILDING SETBACKS:

FRONT: 35'  
SIDE: 10'  
REAR: 30'  
MAX. LOT COVERAGE: 35%  
MAX. BUILDING HEIGHT: 35'

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT.

DIRT STATEMENT

TOTAL OF GROSS CUBIC YARDS OF CUT: 3  
TOTAL OF GROSS CUBIC YARDS OF FILL: 3  
EXCESS OF SOIL TO BE HAULED OFF.

DISTURBED AREA STABILIZATION

ANTICIPATED STARTING DATE: 06/25/2024  
ANTICIPATED COMPLETION DATE: 06/25/2025  
THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

SCOPE OF PLAN NOTE:

THE PURPOSE OF THIS SITE PLAN IS FOR USE IN ACQUIRING BUILDING AND LAND DISTURBANCE PERMITS. THE SCOPE INCLUDES THE CONSTRUCTION OF A NEW 2-STORY RESIDENCE, PORCH, WOOD DECK, DRIVEWAY AND WALKWAY.

NEW PERMANENT STORMWATER MANAGEMENT BMPs TO BE INSTALLED TO REDUCE RUNOFF FROM THE NEW IMPROVEMENTS.

ALL EROSION CONTROL BMPs TO BE MAINTAINED DURING ALL DEMOLITION AND CONSTRUCTION ACTIVITIES AS DETAILED HEREON.

GENERAL NOTES:

- THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION.
- SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY, RECORDED OR UNRECORDED, PUBLIC OR PRIVATE.
- NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.
- IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION.
- THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
- STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES, LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION SHOULD OCCUR WITHIN ANY EASEMENT AREA.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.

SITE PLAN NOTES:

- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED.
- NO DECKS, PATIOS OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN 25 OR 50 FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY SECTION 404 PERMIT.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD LONGER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH - OR TEMPORARY SEEDING.
- EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR.
- TREE PROTECTION SHALL BE ENFORCED ACCORDING TO COBB COUNTY STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- ALL GRADED SLOPES MUST NOT EXCEED BE 3H:1V.
- WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
- ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN 4 FEET IN HEIGHTS.
- GRADE TO DRAIN AWAY FROM FOUNDATION.
- WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE.
- LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF WAY OR TREE SAVE AREA.
- THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @ 1-800-282-7411 -IT'S THE LAW.
- HAUL ROUTE PERMIT IS NOT REQUIRED.
- LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED.
- TOPOGRAPHY IS BASED ON FIELD RUN DATA BY SURVEY LAND EXPRESS, INC. ON JUNE 05, 2024
- THE DESIGN PROFESSIONAL WHOSE SEAL APPEARS HEREON CERTIFIES UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY HIMSELF OR HIS AUTHORIZED AGENTS, UNDER HIS SUPERVISION.

WATER QUALITY NOTES:

- FLO WELLS AND INFILTRATION WATER QUALITY BMPs MUST BE LOCATED AT LEAST 10 FEET FROM BUILDING FOUNDATIONS.
- TO REDUCE THE CHANCE OF CLOGGING, WATER QUALITY BMPs SHOULD DRAIN ONLY IMPERVIOUS AREAS, AND RUNOFF SHOULD BE PRETREATED WITH AT LEAST ONE OF THE LEAF REMOVAL OPTIONS TO REMOVE DEBRIS AND LARGER PARTICLES (SEE GUTTER DOWNSPOUT DETAIL).
- THE HEIGHT OF THE TANK SHOULD INSURE A DRAIN TIME OF 72 HOURS OR LESS. AT THIS TIME. (SEE INFILTRATION TEST PERFORMED FOR THIS DESIGN)
- WATER QUALITY BMPs SHOULD BE LOCATED IN A LAWN OR OTHER PERVIOUS (UNPAVED) AREA AND SHOULD BE DESIGNED SO THAT SILT TOP OF THE BERM IS LOCATED AS CLOSE TO THE SURFACE AS POSSIBLE.
- WATER QUALITY BMPs SHOULD NOT BE LOCATED: (1) BENEATH AN IMPERVIOUS (PAVED) SURFACE; (2) ABOVE AN AREA WITH A WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (3) OVER OTHER UTILITY LINES; OR, (4) ABOVE A SEPTIC FIELD. ALWAYS CALL 811 TO LOCATE UTILITY LINES BEFORE YOU DIG.

EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

CITY OF SMYRNA NOTES:

- ALL WORK SHALL COMPLY WITH CITY OF SMYRNA DESIGN AND CONSTRUCTION STANDARDS.
- ALL CURBED ISLANDS SHALL BE FILLED TO TOP OF CURB WITH TOPSOIL AND GRASSED OR STABILIZED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL OPEN DRAINAGE SWALES MUST BE GRASSED, AND RIPRAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION.
- NO ADDITIONAL DRAINAGE AREAS SHALL BE DIVERTED ONTO CITY RIGHT-OF-WAY.
- ALL CORRUGATED METAL STORM DRAINPIPE SHALL BE FULLY BITUMINOUS-COATED GALVANIZED STEEL OR ALUMINIZED TYPE II WITH RE-ROLLED ENDS AND BANDS.
- HDPE PIPE SHALL BE BEDDED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- APPLICANT SHALL RE-GRASS TO GEORGIA DOT SPECIFICATIONS ALL CITY RIGHT-OF-WAY AREAS THAT ARE DAMAGED OR DISTURBED DURING WORK AUTHORIZED HEREIN.
- ALL HANDICAP RAMPS SHALL BE A MINIMUM OF 3.0' IN WIDTH AND AT A MAXIMUM 12:1 SLOPE.
- A FIVE (5) FOOT WIDE SIDEWALK IS REQUIRED ALONG ALL PUBLIC STREETS, AND IN SOME CASES 10' WIDE, WITH A 2-FOOT GRASS STRIP ADJACENT TO THE BACK OF CURB
- ALL ROAD AND STORM STRUCTURES SHALL CONFORM TO GEORGIA DEPARTMENT OF TRANSPORTATION OR COBB COUNTY STANDARD SPECIFICATIONS AND DETAILS
- CONSTRUCTION WITHIN 300' OF RESIDENTIAL OCCUPANCIES WILL BE ALLOWED WEEKDAYS BETWEEN THE HOURS OF 7:00 AM AND 6:00 PM, AND SATURDAY FROM 9:00 AM TO 5:00 PM.
- LANE CLOSURES ON ARTERIALS ARE PERMITTED ONLY BETWEEN 9:00 AM AND 4:00 PM.
- PARKING FOR CONSTRUCTION ACTIVITIES SHALL BE PROVIDED ON SITE, OFF OF THE RIGHT-OF-WAY.
- FLAGGERS AND TRAFFIC CONTROL WILL BE PROVIDED AT ALL TIMES OF LANE CLOSURE ON ALL ROADS, INCLUDING THE LOADING AND UNLOADING OF EQUIPMENT.
- SANITARY SEWER AND WATER LINES MUST PASS INSPECTION BEFORE STREETS CAN BE PAVED.
- BUILDER SHALL BE RESPONSIBLE FOR INSTALLATION OF SIDEWALKS AND THE C.O. WILL NOT BE ISSUED UNTIL SIDEWALK IS INSPECTED AND ACCEPTED.
- ALL EXTERIOR LIGHTING SHALL BE PLACED SO AS NOT TO DIRECTLY ILLUMINATE ADJACENT PROPERTY.
- THE OWNER/DEVELOPER IS RESPONSIBLE TO COORDINATE WITH THE US ARMY CORPS OF ENGINEERS CONCERNING PERMITS OR REQUIREMENTS WHEN WETLANDS ARE PROPOSED TO BE DISTURBED ON THE PROPERTY. FAILURE TO REQUEST A DETERMINATION OF PERMIT REQUIREMENT BEFORE DISTURBING ANY WETLANDS COULD RESULT IN PENALTIES BEING IMPOSED BY THE CORPS OF ENGINEERS.
- THE OWNER/DEVELOPER IS RESPONSIBLE TO COORDINATE WITH THE GEORGIA DNR EPD CONCERNING PERMITS OR REQUIREMENTS WHEN BUFFERS ARE PROPOSED TO BE DISTURBED ON THE PROPERTY. FAILURE TO REQUEST A DETERMINATION OF PERMIT REQUIREMENT BEFORE DISTURBING ANY BUFFERS COULD RESULT IN DELAY OF PROJECT AND PENALTIES BEING IMPOSED, AND RESTORATION OF BUFFER BEING REQUIRED.
- BURIAL OF CONSTRUCTION MATERIALS IS NOT PERMITTED WITHIN THE CITY OF SMYRNA.
- BURNING OF DEBRIS OR CONSTRUCTION MATERIALS IS NOT PERMITTED WITHIN THE CITY OF SMYRNA.
- AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED TO THE CITY OF SMYRNA PRIOR TO THE ISSUANCE OF THE FINAL PLAT. AS-BUILT PLANS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER.
- ALL SILT BARRIERS AND CONSTRUCTION ENTRANCE PADS MUST BE PLACED PRIOR TO ANY CLEARING AND/OR GRADING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION IS COMPLETE.
- A "SEVEN-DAY" LETTER SHALL BE PREPARED BY THE DESIGN ENGINEER STATING THE SITE IS IN COMPLIANCE WITH THE APPROVED E&S PLAN PRIOR TO PROCEEDING WITH MASS GRADING OR CONSTRUCTION.
- THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC STREETS.
- SILT FENCES AND BARRIERS SHALL BE CLEANED OR REPLACED AND MAINTAINED IN FUNCTIONAL CONDITION UNTIL PERMANENT EROSION CONTROL MEASURES ARE ESTABLISHED.
- ALL GRASSING SHALL BE IN ACCORDANCE WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, LATEST EDITION.
- ALL OTHER WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THIS SAME MANUAL.
- TEMPORARY VEGETATION AND/OR HEAVY MULCH WILL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN SEVEN (7) DAYS.
- ALL DISTURBED AREAS WILL BE PERMANENTLY LANDSCAPED AND GRASSED AS SOON AS PRACTICABLE.
- ADDITIONAL MEASURES MAY BE REQUIRED TO CONTROL EROSION AS DETERMINED NECESSARY BY CITY INSPECTORS.
- EROSION CONTROL BLANKETS SHALL BE USED ON ALL SLOPES EXCEEDING 3:1 OVER 5 VERTICAL FEET IN HEIGHT
- ALL APPLICATIONS OF HYDROSEED WILL BE FOLLOWED BY 1/4" TO 1" MULCH.
- NO CLEARING BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THE APPROVED PLANS SHALL BE ALLOWED.
- NO LAND DISTURBING ACTIVITY WITHIN ANY TREE SAVE AREA SHALL BE ALLOWED.
- NOTICE IS HEREBY GIVEN THAT ALL EROSION AND SEDIMENT DEVICES AND PRACTICES MUST BE INSTALLED AND MAINTAINED AT ALL TIMES. NO FURTHER NOTICE WILL BE GIVEN. ANY SITE UPON WHICH THE LAND DEVELOPMENT INSPECTOR FINDS ANY DEFICIENCY WILL BE SUBJECT TO AN IMMEDIATE ENFORCEMENT ACTION WITHOUT WARNING.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE MAINTAINED IN A SATISFACTORY CONDITION 24 HOURS A DAY, 7 DAYS A WEEK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES.
- EROSION CONTROL DEVICES THAT ARE INSTALLED AS DIRECTED OR ALLOWED BY CITY INSPECTORS BUT NOT SHOWN ON THE APPROVED PLAN AND WHICH ALSO SUBSEQUENTLY FAIL, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CITY OF SMYRNA ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DIRECTION PROVIDED BY CITY STAFF DURING INSPECTIONS.
- ALL TEMPORARY AND PERMANENT SEEDING MUST BE PERFORMED AT THE APPROPRIATE SEASON. ADDITIONAL PLANTINGS WILL BE NECESSARY IF A SUFFICIENT STAND OF GRASS FAILS TO GROW.
- THE CITY INSPECTOR WILL DETERMINE ADEQUATE COVER OF NEW PLANTINGS.
- TOPSOIL SHALL BE STOCKPILED AND USED TO DRESS FINAL GRADES.
- NO DISTURBANCE WILL BE ALLOWED WITHIN FLOOD PLAINS OR WETLANDS WITHOUT APPROPRIATE PERMITS.
- SILT TOP OF THE BERM IS LOCATED AS CLOSE TO THE SURFACE AS POSSIBLE.
- NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED UNTIL TO HOA COVENANTS ARE RECORDED
- NO CERTIFICATES OF OCCUPANCY WILL BE ISSUED UNTIL TO THE INSPECTION AND MAINTENANCE AGREEMENT IS RECORDED
- TREE PROTECTION FENCE SHALL BE SHOWN ON THE EROSION CONTROL PLAN
- STATE AND CITY UNDISTURBED STREAM BUFFERS SHALL BE FLAGGED/MARKED IN THE FIELD

CERTIFICATIONS:

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

*Eugene A. Stepanov*

LOT		BLOCK		SITE PLAN PREPARED FOR:		SHEET 1 OF 5	
SUBDIVISION		UNIT		KIMBERLY BUNCH			
LAND LOT 593		17TH DISTRICT		2ND SECTION			
COBB COUNTY, GEORGIA		DB.16187/PG.5837		PB.47/PG.70			
FIELD WORK DATE: JUNE 05, 2024		PRINTED/SIGNED: JUNE 14, 2024		PROPERTY ADDRESS:			
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 17" x 22"		1546 WALKER ST			
				SMYRNA, GA 30080			
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000± FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.				24 LINDEN POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM			
AU COORD #20240900 DWG #20240900.SP		SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES					

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

(Sd1-S) INDICATES Sd1 TYPE S SILT FENCE

(Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES

(Tr) INDICATES TREE PROTECTION FENCE

- Ds1 DISTURBED AREA STABILIZATION (WITH MULCH)
- Ds2 DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

LEGEND:

- AE ACCESS EASEMENT
- AI ANGLE IRON FOUND
- APD AS PER DEED
- APP AS PER FIELD
- APR AS PER PLAT
- BC BACK OF CURB
- BL BUILDING LINE
- BR BRICK
- CB CENTER LINE
- CLF CHAIN LINK FENCE
- CMP CORRUGATED METAL PIPE
- CO CLEANOUT
- CP CALCULATED POINT
- CTP CURB TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FR FRAME
- GL GAS LINE
- GM GAS METER
- HW HARDWOOD TREE
- IPF IRON PIN FOUND
- JB JUNCTION BOX
- LLL LAND LOT LINE
- MH MANHOLE
- N NEIGHBOR'S
- OH OVERHANG
- OTP OPEN TOP PIPE FOUND
- OU OWNERSHIP UNCLER
- P PLAT
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PN PINE TREE
- POB POINT OF BEGINNING
- PP POWER POLE
- PW POWER LINE
- R RECORD
- RBF REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RCP REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SSE SANITARY SEWER EASEMENT
- SSL SANITARY SEWER LINE
- TB TOP OF BANK
- UE UTILITY EASEMENT
- WD WOOD
- WDF WOOD FENCE
- WL WATER LINE
- WLF WIRE FENCE
- WM WATER METER
- WV WATER VALVE
- YI YARD INLET
- (X) INDICATES STAIRS

\* LINE INDICATORS \*

— SS — SS — SS — SS —  
INDICATES SANITARY SEWER LINE

— P — P — P — P — P —  
INDICATES POWER LINE

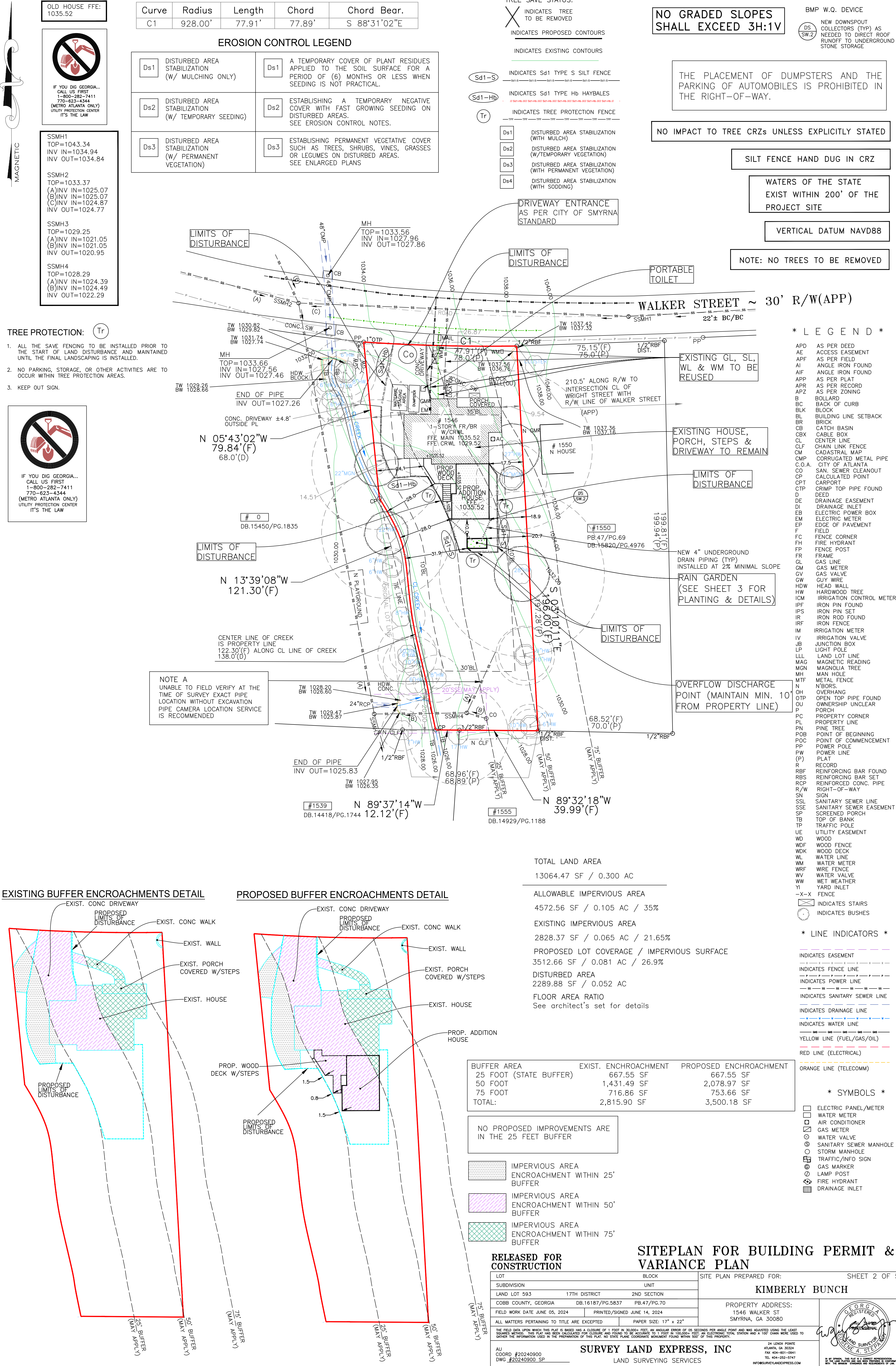
— W — W — W — W — W —  
INDICATES WATER LINE

— GS — GS — GS — GS — GS —  
INDICATES GAS LINE

— X — X — X — X — X —  
INDICATES FENCE LINE

— — — — —  
INDICATES EASEMENT





OLD HOUSE FFE: 1035.52

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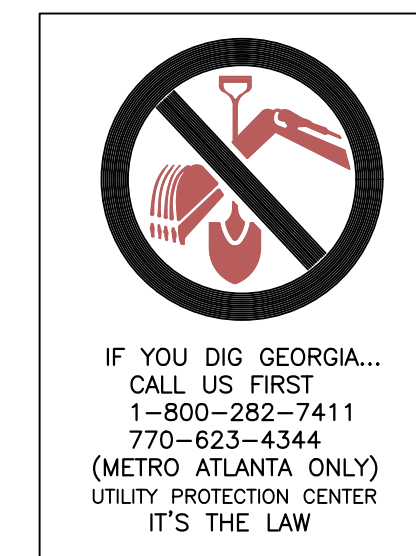
SSMH1  
TOP=1043.34  
(A) INV IN=1025.07  
(B) INV IN=1025.07  
(C) INV IN=1024.87  
INV OUT=1034.84

SSMH2  
TOP=1033.37  
(A) INV IN=1025.07  
(B) INV IN=1025.07  
(C) INV IN=1024.87  
INV OUT=1024.77

SSMH3  
TOP=1029.25  
(A) INV IN=1021.05  
(B) INV IN=1021.05  
INV OUT=1020.95

SSMH4  
TOP=1028.29  
(A) INV IN=1024.39  
(B) INV IN=1024.49  
INV OUT=1022.29

- TREE PROTECTION:** (Tr)
- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
  - NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
  - KEEP OUT SIGN.



Curve	Radius	Length	Chord	Chord Bear.
C1	928.00'	77.91'	77.89'	S 88°31'02"E

EROSION CONTROL LEGEND			
Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

- TREE SAVE STATUS:**
- X INDICATES TREE TO BE REMOVED
  - INDICATES PROPOSED CONTOURS
  - INDICATES EXISTING CONTOURS
  - (Sd1-S) INDICATES Sd1 TYPE S SILT FENCE
  - (Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES
  - (Tr) INDICATES TREE PROTECTION FENCE
  - Ds1 DISTURBED AREA STABILIZATION (WITH MULCH)
  - Ds2 DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
  - Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
  - Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

**NO GRADED SLOPES SHALL EXCEED 3H:1V**

BMP W.Q. DEVICE

NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

NO IMPACT TO TREE CRZs UNLESS EXPLICITLY STATED

SILT FENCE HAND DUG IN CRZ

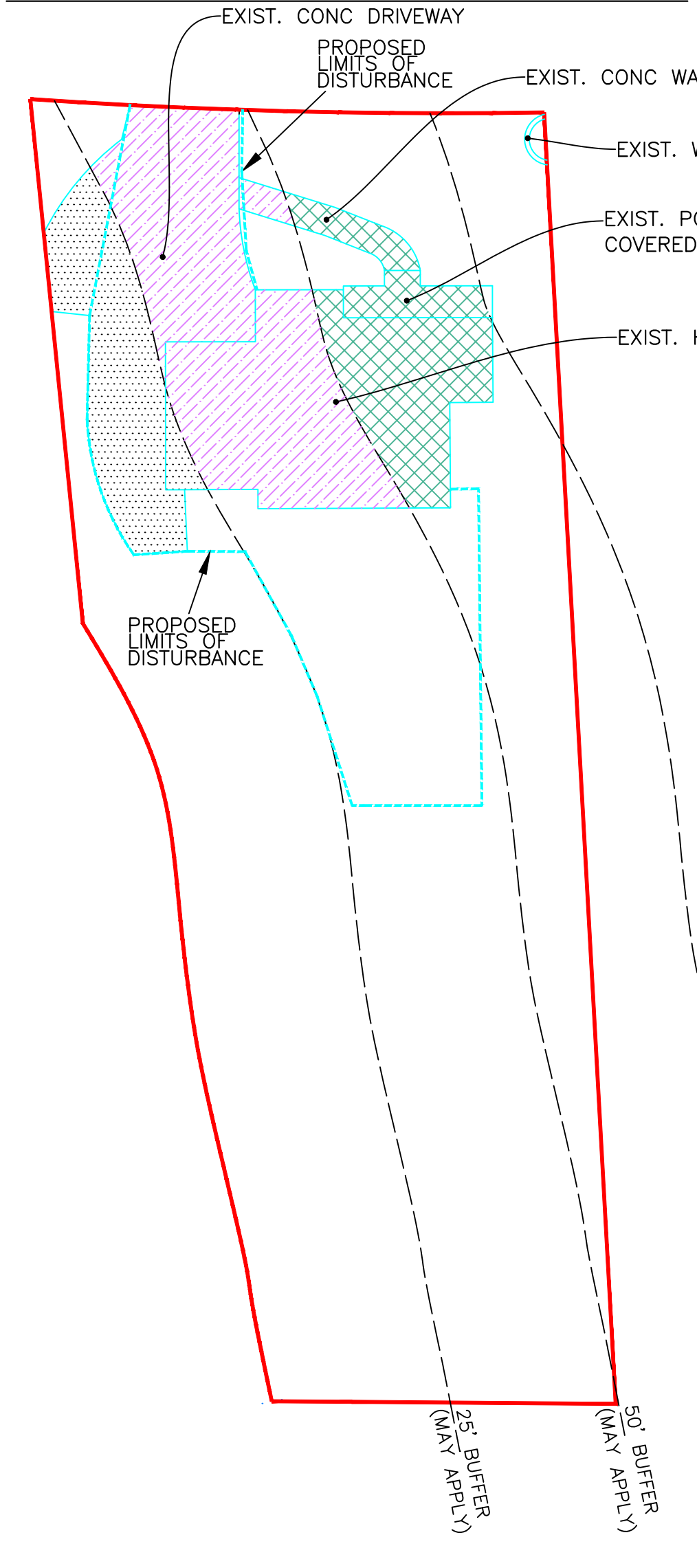
WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

VERTICAL DATUM NAVD88

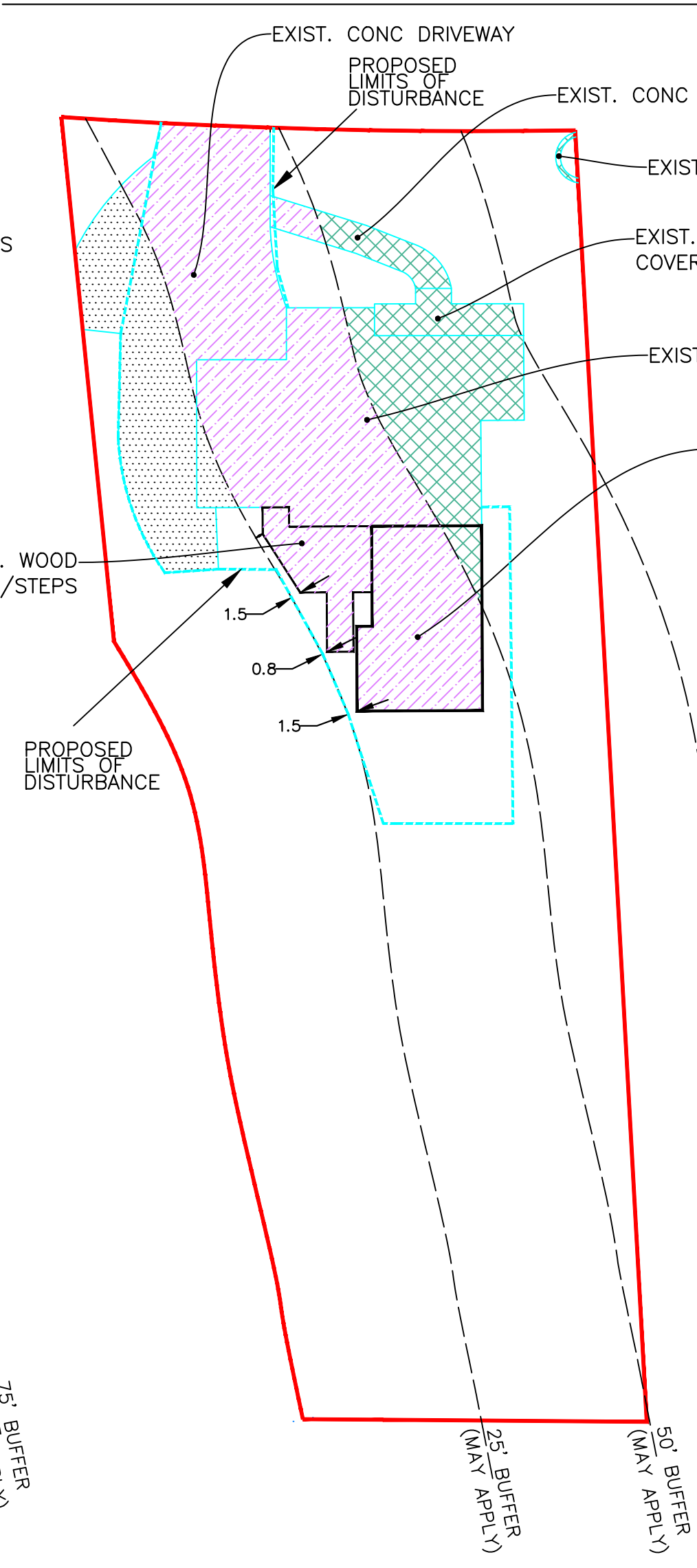
NOTE: NO TREES TO BE REMOVED

- \* LEGEND \***
- APD AS PER DEED
  - AE ACCESS EASEMENT
  - AF AS PER FIELD
  - AI ANGLE IRON FOUND
  - AIF ANGLE IRON FOUND
  - APP AS PER PLAT
  - APR AS PER RECORD
  - APZ AS PER ZONING
  - B BOLLARD
  - BC BACK OF CURB
  - BLK BLOCK
  - BL BUILDING LINE SETBACK
  - BR BRICK
  - CB CATCH BASIN
  - CBX CATCH BOX
  - CL CENTER LINE
  - CLF CHAIN LINK FENCE
  - CM CADASTRAL MAP
  - CMP CORRUGATED METAL PIPE
  - C.O.A. CITY OF ATLANTA
  - CO SAN. SEWER CLEANOUT
  - CP CALCULATED POINT
  - CPT CARPORT
  - CTP CRIMP TOP PIPE FOUND
  - D DEED
  - DE DRAINAGE EASEMENT
  - DI DRAINAGE INLET
  - EB ELECTRIC POWER BOX
  - EM ELECTRIC METER
  - F FIELD
  - FC FENCE CORNER
  - FH FIRE HYDRANT
  - FP FENCE POST
  - FR FRAME
  - GL GAS LINE
  - GM GAS METER
  - GV GAS VALVE
  - GW GUY WIRE
  - HDW HEAD WALL
  - HW HARDWOOD TREE
  - ICM IRRIGATION CONTROL METER
  - IPF IRON PIN FOUND
  - IPS IRON PIN SET
  - IR IRON ROD FOUND
  - IRF IRON FENCE
  - IM IRRIGATION METER
  - IV IRRIGATION VALVE
  - JB JUNCTION BOX
  - LP LIGHT POLE
  - LLL LAND LOT LINE
  - MAG MAGNETIC READING
  - MCN MAGNOLIA TREE
  - MH MAN HOLE
  - MTF METAL FENCE
  - N N.BORS.
  - OH OVERHANG
  - OTP OPEN TOP PIPE FOUND
  - OU OWNERSHIP UNCLEAR
  - P PORCH
  - PC PROPERTY CORNER
  - PL PROPERTY LINE
  - PN PINE TREE
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - PP POWER POLE
  - PW POWER LINE
  - (P) PLAT
  - R RECORD
  - RBF REINFORCING BAR FOUND
  - RBS REINFORCING BAR SET
  - RCP REINFORCED CONC. PIPE
  - R/W RIGHT-OF-WAY
  - SN SIGN
  - SSL SANITARY SEWER LINE
  - SSE SANITARY SEWER EASEMENT
  - SP SCREENED PORCH
  - TB TOP OF BANK
  - TP TRAFFIC POLE
  - UE UTILITY EASEMENT
  - WD WOOD
  - WDF WOOD FENCE
  - WDK WOOD DECK
  - WL WATER LINE
  - WM WATER METER
  - WRF WIRE FENCE
  - WV WATER VALVE
  - WW WET WEATHER
  - YD YARD INLET
  - X-X FENCE
  - INDICATES STAIRS
  - INDICATES BUSHES
- \* LINE INDICATORS \***
- INDICATES EASEMENT
  - INDICATES FENCE LINE
  - INDICATES POWER LINE
  - INDICATES SANITARY SEWER LINE
  - INDICATES DRAINAGE LINE
  - INDICATES WATER LINE
  - YELLOW LINE (FUEL/GAS/OIL)
  - RED LINE (ELECTRICAL)
  - ORANGE LINE (TELECOMM)
- \* SYMBOLS \***
- ELECTRIC PANEL/METER
  - WATER METER
  - AIR CONDITIONER
  - GAS METER
  - WATER VALVE
  - SANITARY SEWER MANHOLE
  - STORM MANHOLE
  - TRAFFIC/INFO SIGN
  - GAS MARKER
  - LAMP POST
  - FIRE HYDRANT
  - DRAINAGE INLET

EXISTING BUFFER ENCROACHMENTS DETAIL



PROPOSED BUFFER ENCROACHMENTS DETAIL



TOTAL LAND AREA  
13064.47 SF / 0.300 AC

ALLOWABLE IMPERVIOUS AREA  
4572.56 SF / 0.105 AC / 35%

EXISTING IMPERVIOUS AREA  
2828.37 SF / 0.065 AC / 21.65%

PROPOSED LOT COVERAGE / IMPERVIOUS SURFACE  
3512.66 SF / 0.081 AC / 26.9%

DISTURBED AREA  
2289.88 SF / 0.052 AC

FLOOR AREA RATIO  
See architect's set for details

BUFFER AREA	EXIST. ENCROACHMENT	PROPOSED ENCROACHMENT
25 FOOT (STATE BUFFER)	667.55 SF	667.55 SF
50 FOOT	1,431.49 SF	2,078.97 SF
75 FOOT	716.86 SF	753.66 SF
TOTAL:	2,815.90 SF	3,500.18 SF

NO PROPOSED IMPROVEMENTS ARE IN THE 25 FEET BUFFER

- IMPERVIOUS AREA ENCROACHMENT WITHIN 25' BUFFER
- IMPERVIOUS AREA ENCROACHMENT WITHIN 50' BUFFER
- IMPERVIOUS AREA ENCROACHMENT WITHIN 75' BUFFER

**SITEPLAN FOR BUILDING PERMIT & VARIANCE PLAN**

RELEASED FOR CONSTRUCTION

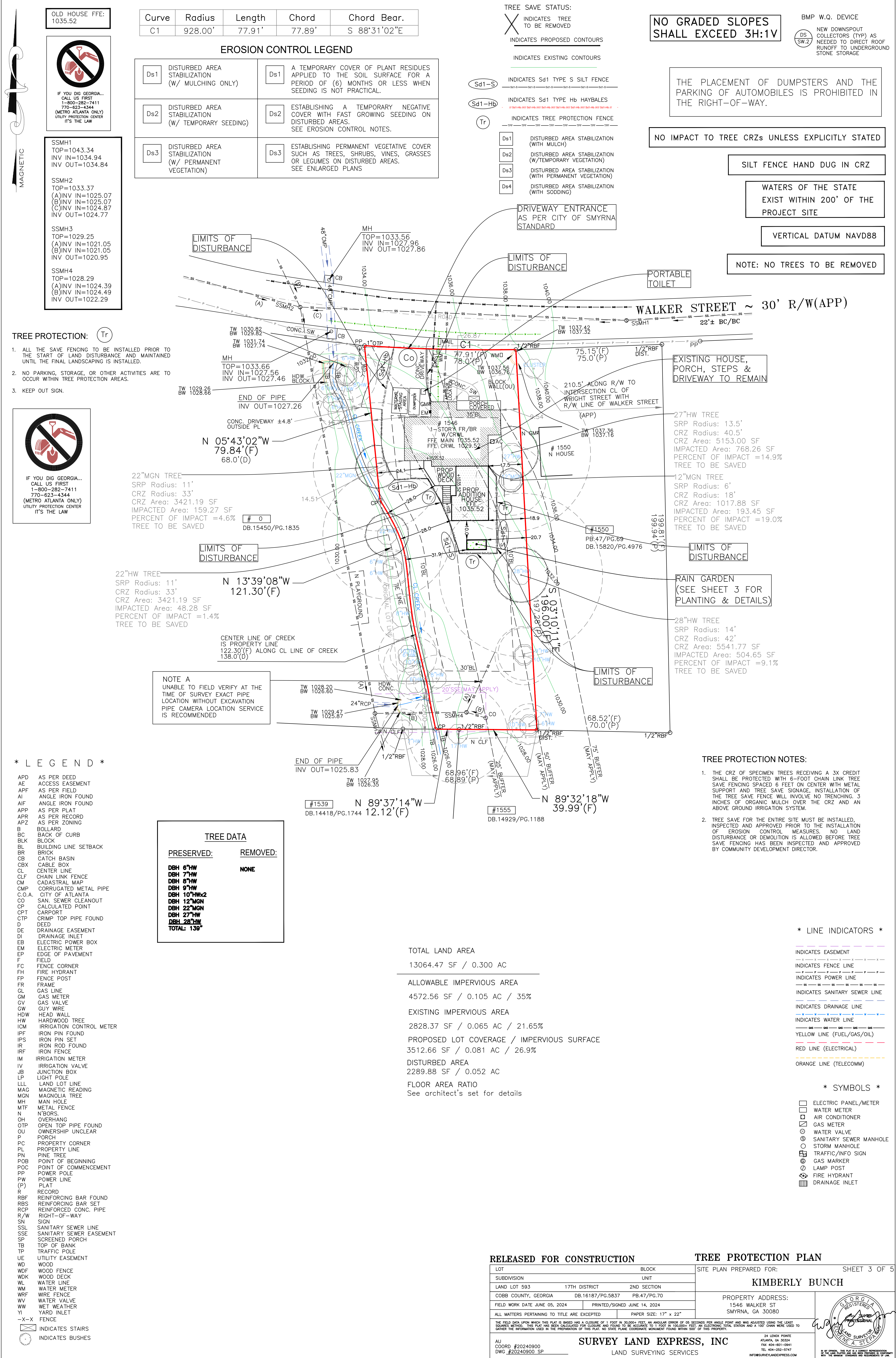
LOT	BLOCK	SITE PLAN PREPARED FOR:	SHEET 2 OF 5
SUBDIVISION	UNIT	KIMBERLY BUNCH	
LAND LOT 593	17TH DISTRICT 2ND SECTION		
CDBB COUNTY, GEORGIA	DB.16187/PG.5837	PROPERTY ADDRESS:	1546 WALKER ST SMYRNA, GA 30080
FIELD WORK DATE JUNE 05, 2024	PRINTED/SIGNED JUNE 14, 2024		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED		PAPER SIZE: 17" x 22"	
THE FIELD DATA UPON WHICH THIS PLAN IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 10,000+ FEET AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAN. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AU COORD #20240900	DWG #20240900 SP	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	

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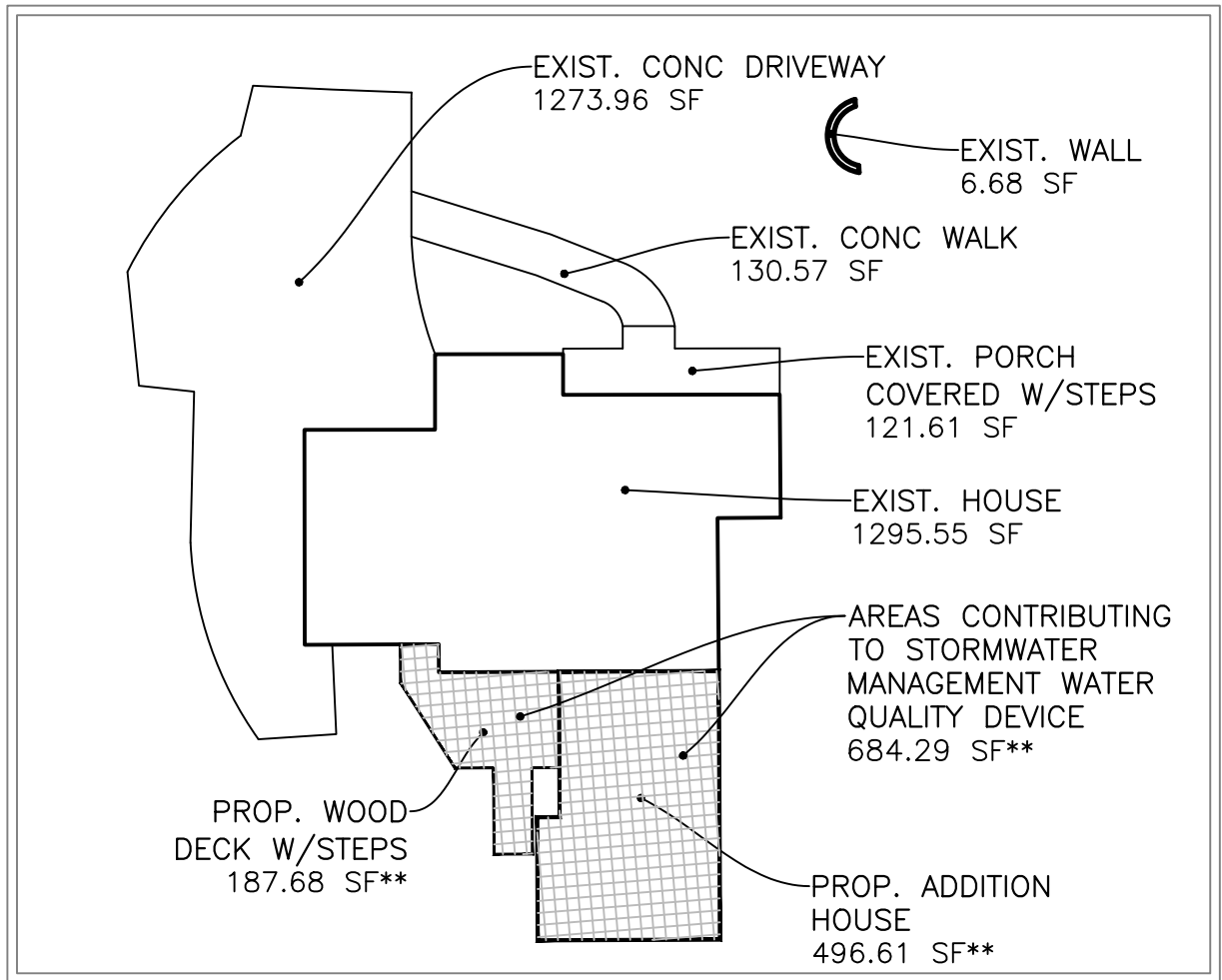
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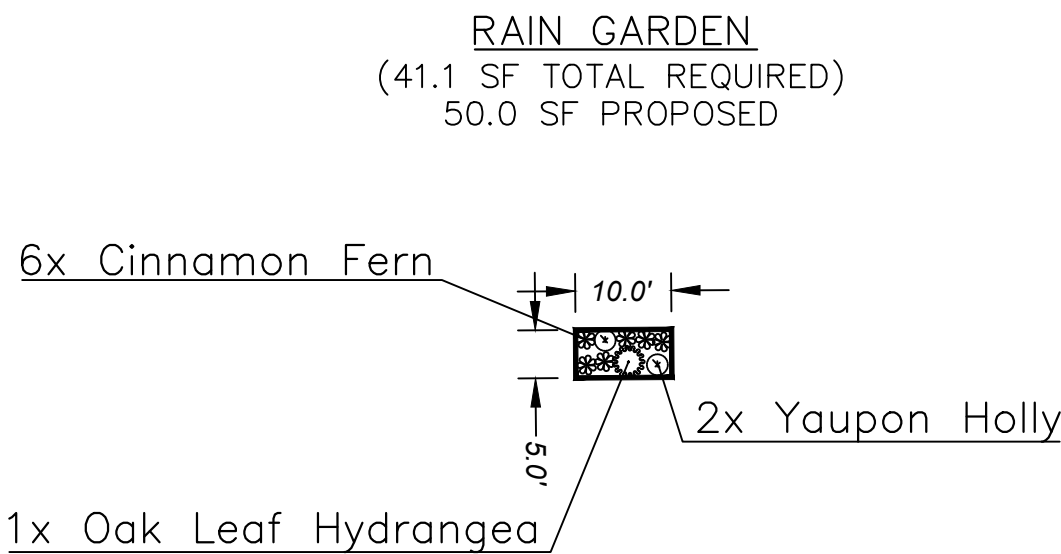
LOT COVERAGE AREA DETAILS



PROPOSED IMPERVIOUS	
EXIST. HOUSE:	1,295.55 SF
EXIST. CONC DRIVEWAY:	1,273.96 SF
EXIST. PORCH COVERED W/STEPS:	121.61 SF
EXIST. WALL:	6.68 SF
EXIST. CONC WALK:	130.57 SF
SUB-TOTAL:	2,828.37 SF
PROP. ADDITION HOUSE:	496.61 SF**
PROP. WOOD DECK W/STEPS:	187.68 SF**
SUB-TOTAL:	684.29 SF**
TOTAL:	3,512.66 SF

\*\* NEW IMPERVIOUS AREAS = 684.29 SF  
REQUIRES NEW STORMWATER MANAGEMENT BMPs

GREEN INFRASTRUCTURE PLAN



PLANTS FOR RAIN GARDEN:

- 2 – Yaupon Holly
- 1 – Oak Leaf Hydrangea
- 6 – Cinnamon Fern

MAINTENANCE SCHEDULE FOR RAIN GARDENS:

1. IRRIGATE VEGETATION AS NEEDED (IN FIRST SEASON).
2. REMOVE WEEDS (AS THEY APPEAR).
3. REPLACE UNSUCCESSFUL PLANTINGS (UPON FAILURES).
4. REPLENISH MULCH (SEASONALLY).
5. REPAIR ERODED AREAS (AS NEEDED).
6. RAKE CLOGGED SURFACE TO RESTORE INFILTRATION (MONTHLY).
7. VISUALLY INSPECT RAIN GARDEN (WEEKLY).
8. MONITOR RAIN GARDEN FOR APPROPRIATE DRAINAGE TIMES.  
IF RAIN GARDEN DOES NOT, AN UNDERDRAIN MAY BE NECESSARY.

RAIN GARDEN BMP NOTES:

1. ALL DOWNDRAINS TO BE CONNECTED TO 4" PIPES DIRECTED TO RAIN GARDENS.
2. PIPES FROM DOWNDRAINS MUST EXTEND AT LEAST 12" INTO RAIN GARDENS
3. ALL PIPES SHALL BE SURROUNDED BY 1" OF CLEAN GRAVEL ON ALL SIDES WITHIN THE TRENCH WHERE EACH PIPE LIES.
4. RAIN GARDENS MUST BE INSTALLED A MINIMUM OF 10 FEET AWAY FROM ALL FOUNDATIONS.
5. RAIN GARDENS MAY NOT BE INSTALLED: WITHIN PUBLIC RIGHT-OF-WAYS; NOT NEAR UTILITY LINES; NOT OVER SEPTIC FIELDS, NOT NEAR A STEEP BLUFF.
6. RAIN GARDEN SHALL HAVE A BERM AT ITS DOWNHILL EDGES AND SIDES. TOPS OF THE BERM NEEDS TO BE LEVEL, AND SET AT THE MAXIMUM PONDING ELEVATION.
7. OVERFLOW FROM WATER QUALITY BMPs SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
8. OVERFLOW POINT(S) OF RAIN GARDEN SHALL BE A MINIMUM OF 10 FEET AWAY FROM ALL PROPERTY LINES.
9. REFER TO THE CITY OF ATLANTA DEPARTMENT OF WATERSHED MANAGEMENT'S GREEN INFRASTRUCTURE MANUAL
6. WQ BMPs TO BE INSTALLED AT TIME OF FINAL LANDSCAPING.
7. ALL COLLECTED WATER SHALL BE DIRECTED TO WQ BMPs.
8. AS-BUILT WATER QUALITY CERTIFICATION OR LOT AS-BUILT SURVEY (INCLUDING WATER QUALITY BMP(S)) IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.

WATER QUALITY DEVICE CONTRIBUTION DETAIL

TOTAL: 684.29  
(\*AREAS CONTRIBUTING TO WQDs)

SIZING CALCULATION:

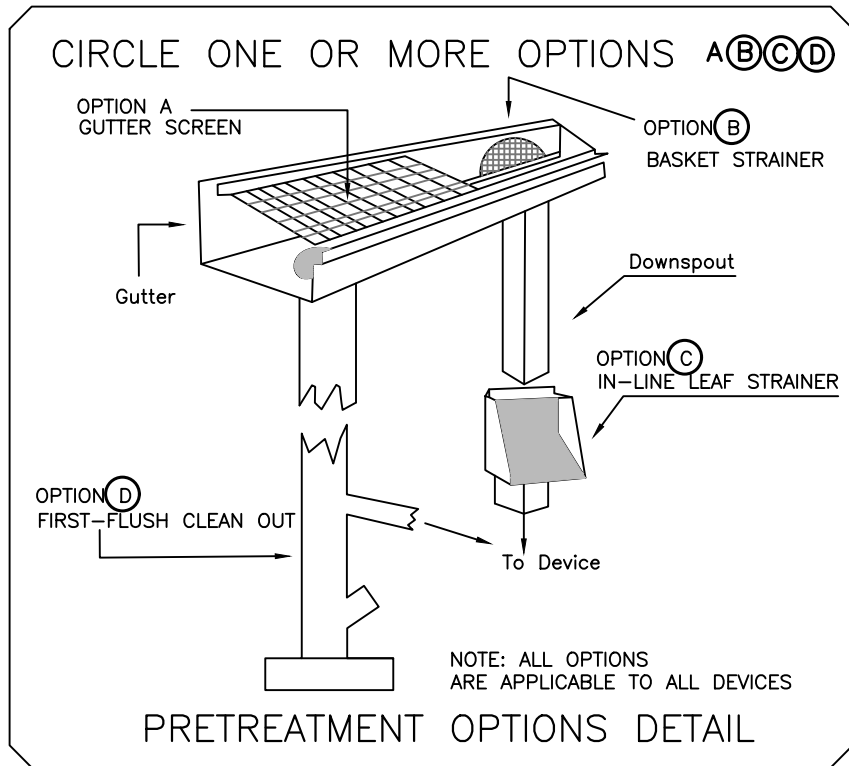
Contributing Drainage Area (square feet)	Depth of Amended Soil (inches)			
	18	24	30	36
	Area of Rain Garden (square feet)			
100	6.6	5.7	5.1	4.6
500	35	30	25	23
1000	65	60	50	45
2000	135	115	100	90
3000	200	170	150	140
4000	250	230	200	185
5000	330	290	255	230

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA= 684.29 SQ FT  
DEPTH OF SOIL MEDIA= 24 INCHES  
AREA OF RAIN GARDEN= 41.1 SQ FT TOTAL

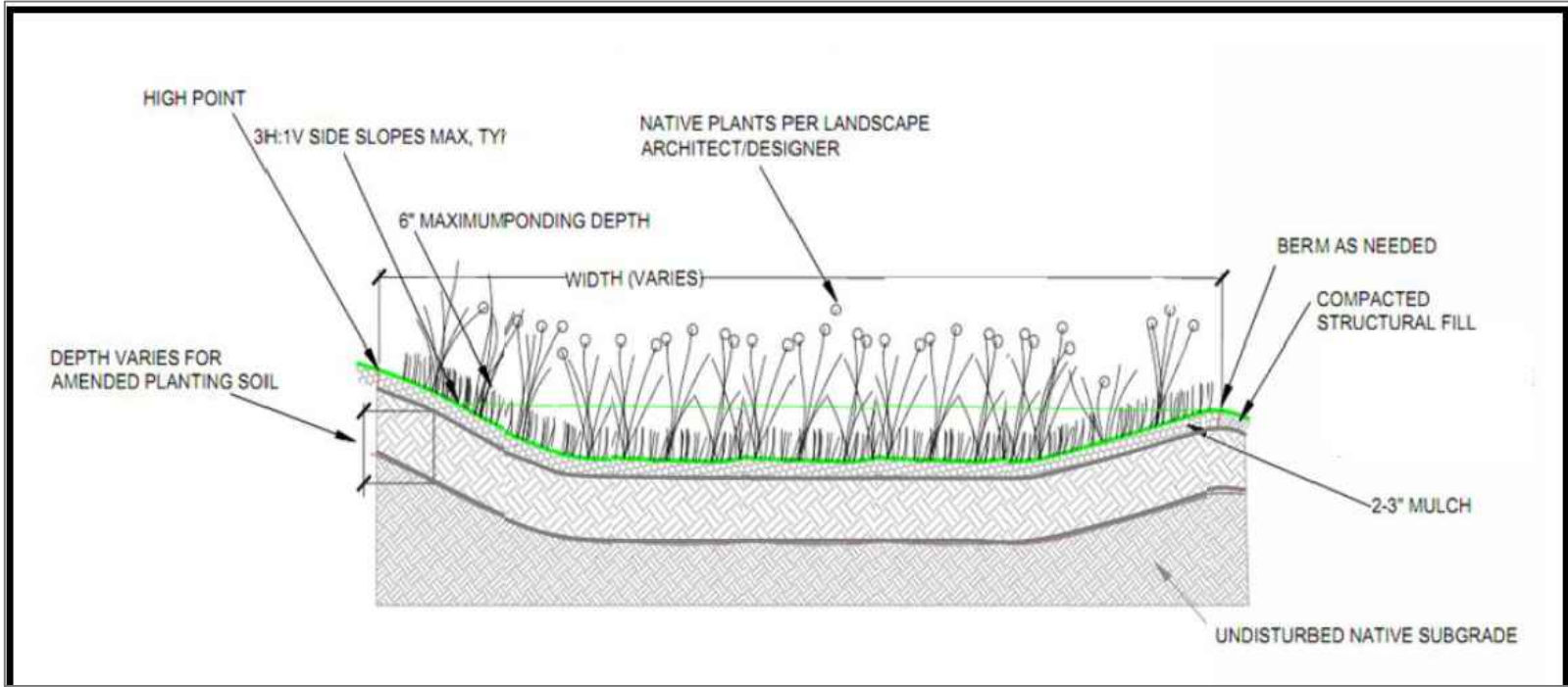
[(684.29/1,000)x60=41.1] REQUIRED RATIO

CIRCLED ITEMS ARE REQUIRED



BMP W.Q. DEVICE

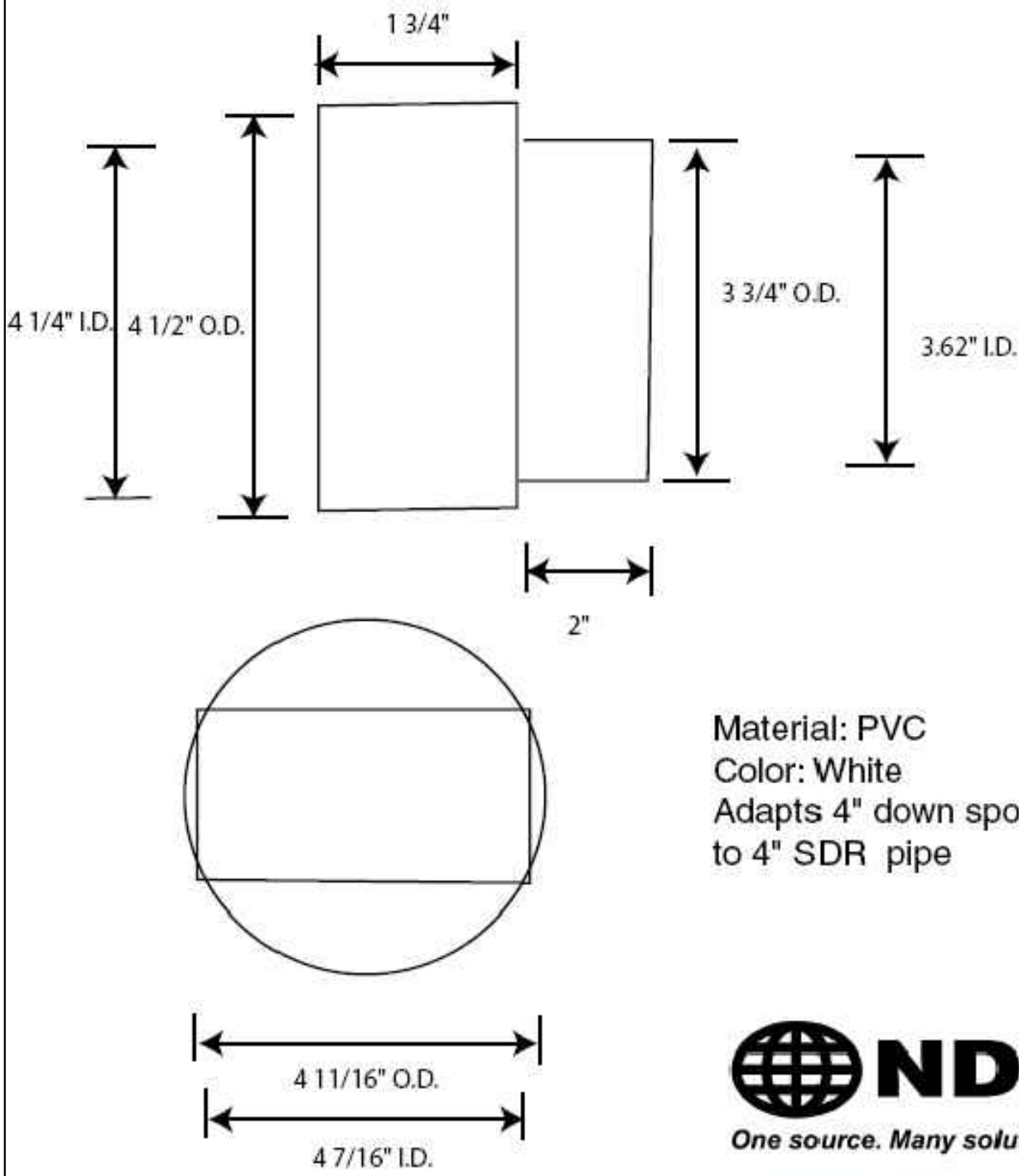
NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO WQD BMP



RAIN GARDEN PROFILE DETAIL

SEE GREEN INFRASTRUCTURE FOR SINGLE FAMILY RESIDENCES FOR DESIGN DETAILS AND CONSTRUCTION STEPS  
SEE SHEET 2 FOR SKETCH LAYOUT

9P06 Downspout Adapter



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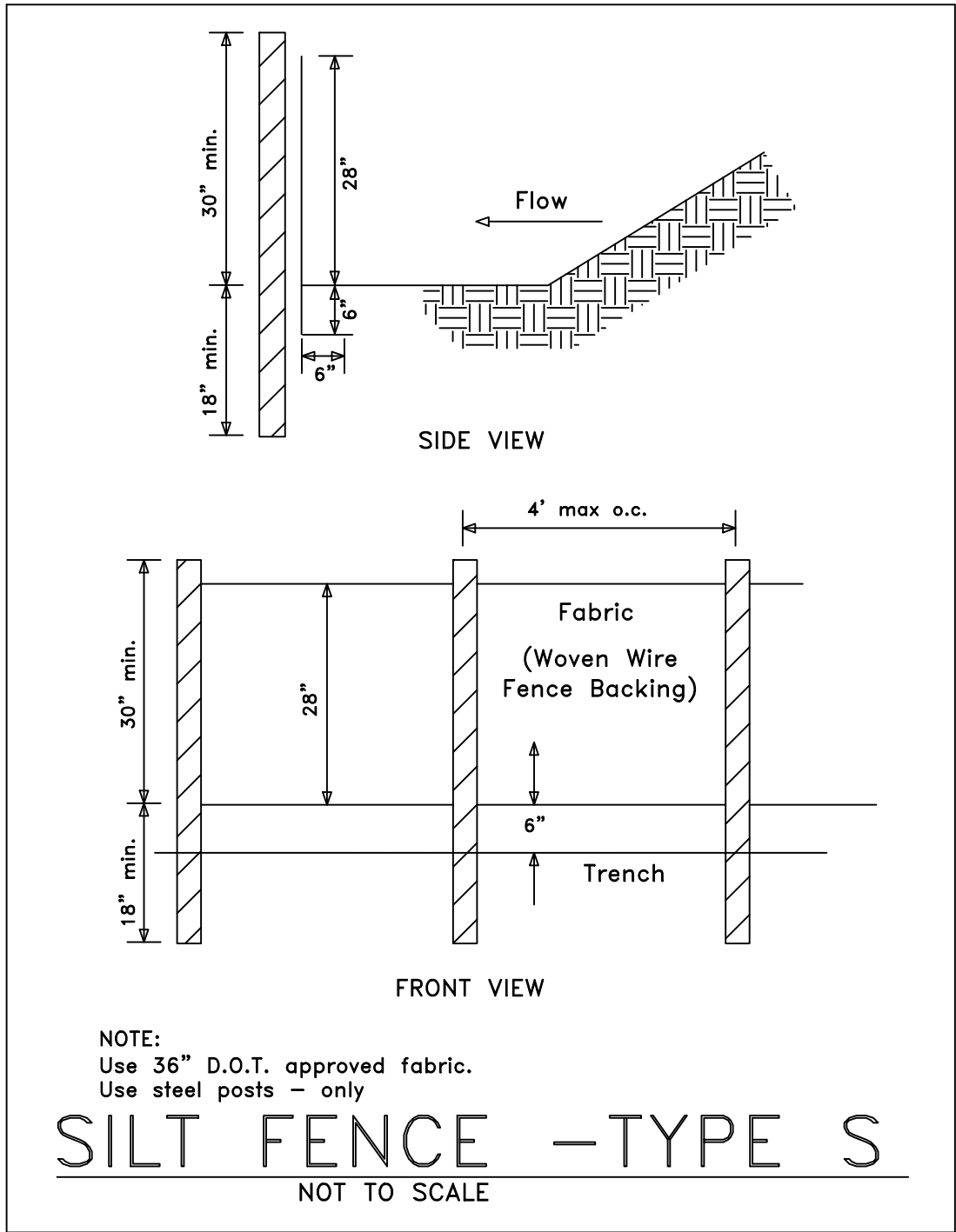
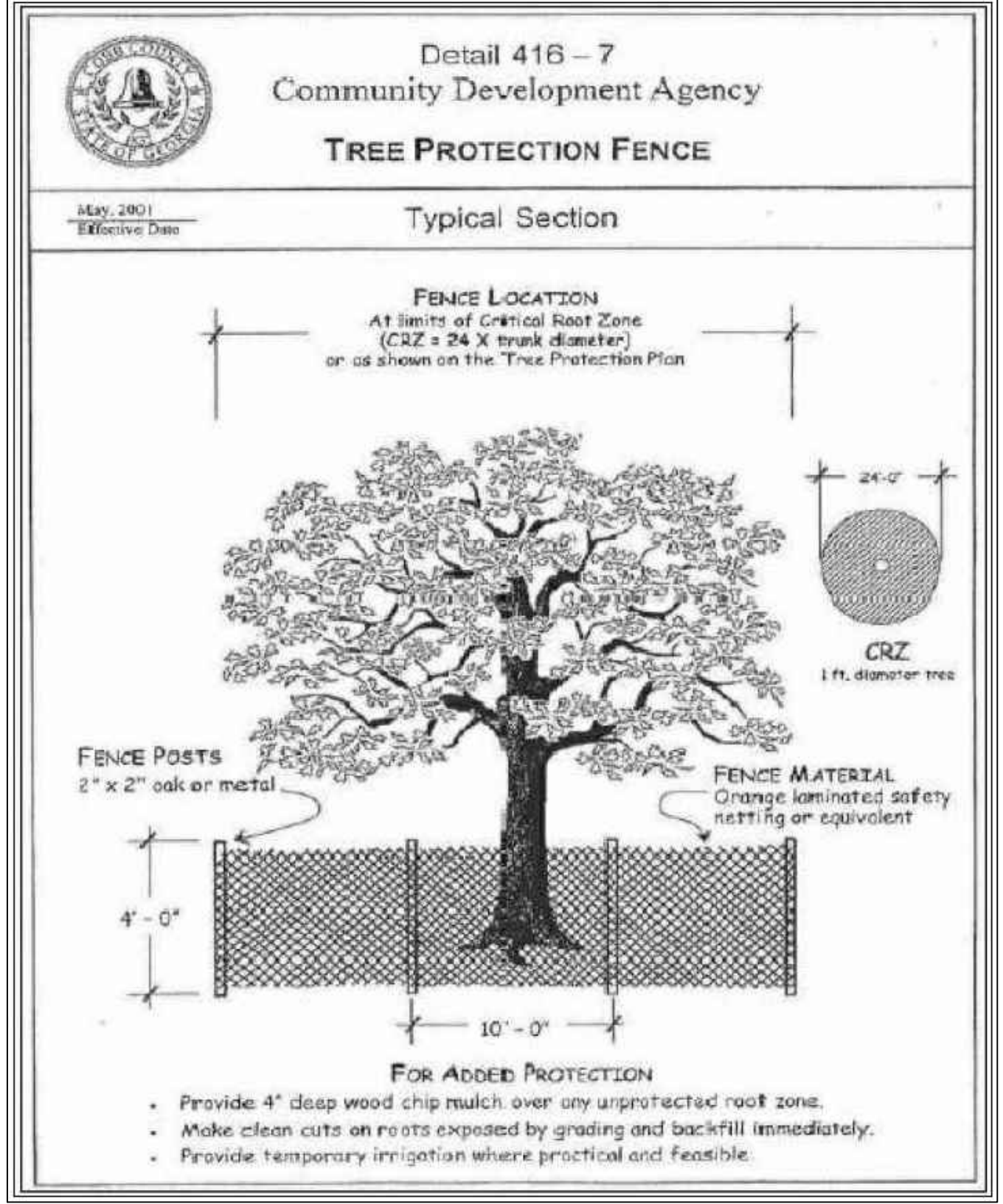
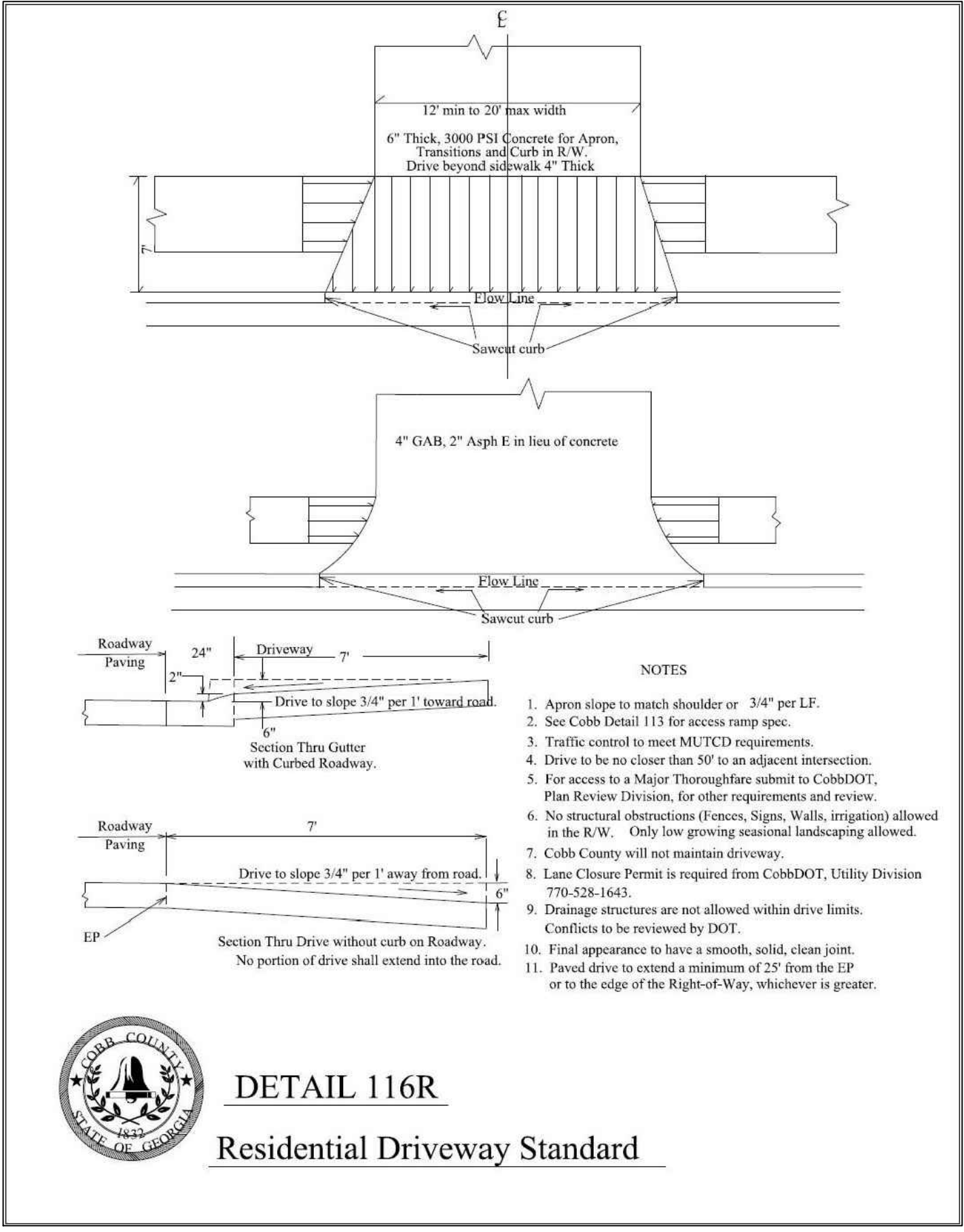
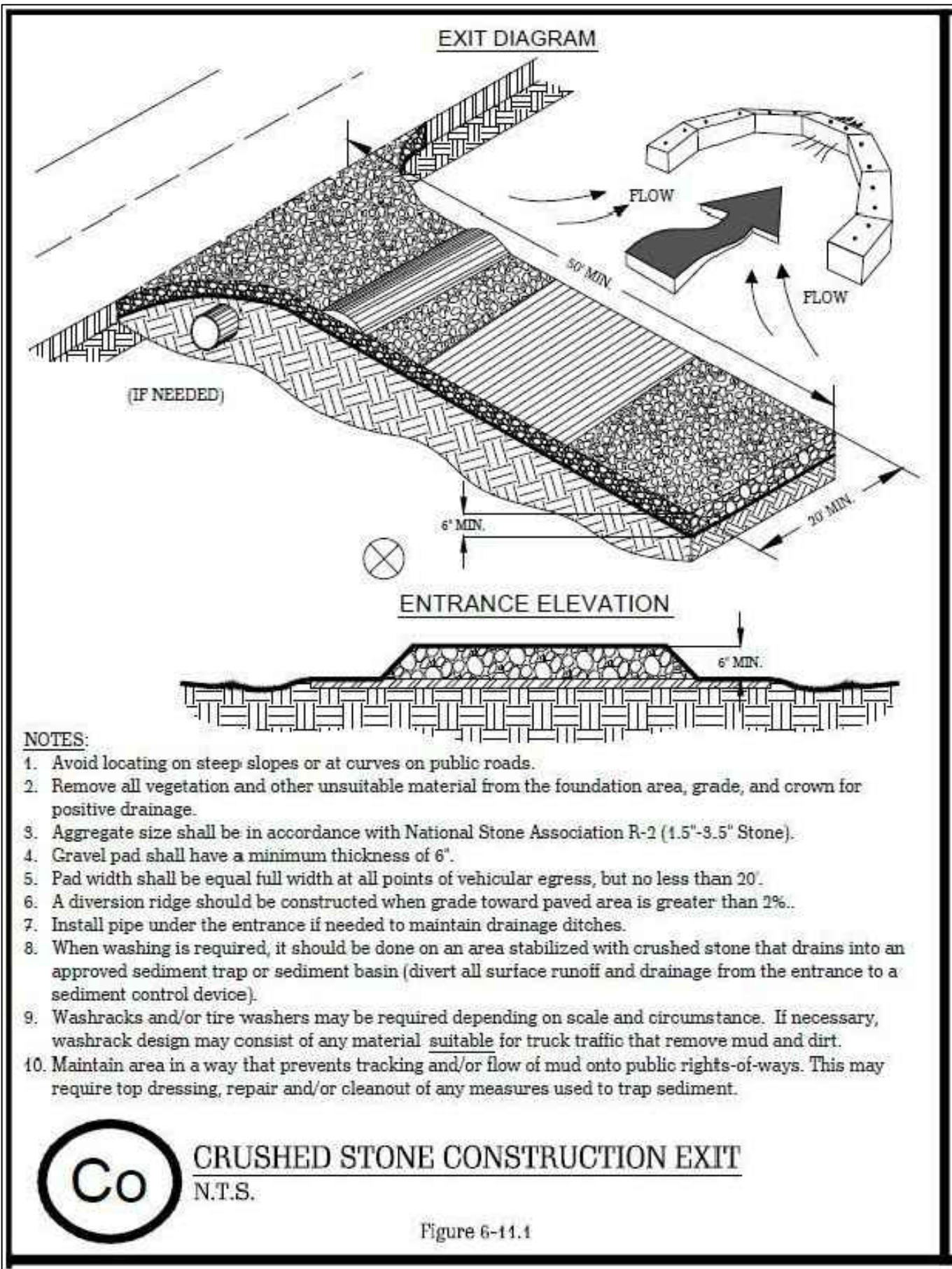
RELEASED FOR CONSTRUCTION

LOT	BLOCK
SUBDIVISION	UNIT
LAND LOT 593	17TH DISTRICT 2ND SECTION
COBB COUNTY, GEORGIA	DB.16187/PG.5837 PB.47/PG.70
FIELD WORK DATE JUNE 05, 2024	PRINTED/SIGNED JUNE 14, 2024
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AU COORD #20240900 DWG #20240900_SP	<b>SURVEY LAND EXPRESS, INC</b> LAND SURVEYING SERVICES

STORMWATER MANAGEMENT DETAILS

SITE PLAN PREPARED FOR:	SHEET 4 OF 5
<b>KIMBERLY BUNCH</b>	
PROPERTY ADDRESS: 1546 WALKER ST SMYRNA, GA 30080	
24 LENOX POINT ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-253-5747 INFO@SURVEYLANDEXPRESS.COM	



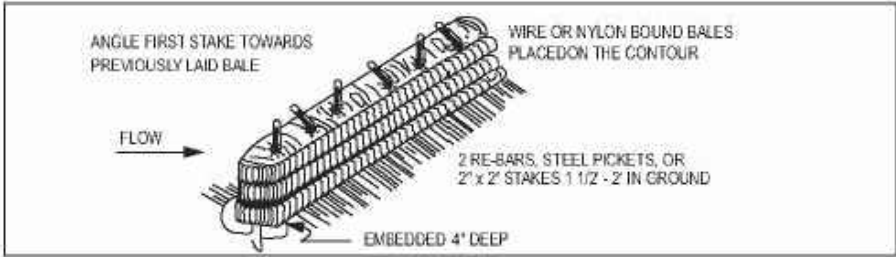


**Sd1-S SEDIMENT BARRIER**

SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.

**Hay or Straw Bales (Sd1-Hb)**

- Place in a single row, lengthwise, on the contour.
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through the bales or by other adequate means.
- Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.



**Figure 1. Straw Bale Barrier Installation Requirements**

**Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**

**DEFINITION**

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

**CONDITIONS**

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

**SPECIFICATIONS**

**MULCHING WITHOUT SEEDING**

THIS STANDARD APPLIES TO GRADES OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT CAN BE STABILIZED WITH A MULCH COVER.

**SITE PREPARATION**

1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS.
3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

**MULCHING MATERIALS**

SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:

1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
3. CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1,200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE YARD).
4. POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND REUSED.

**APPLYING MULCH**

WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.

1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.
3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC.
4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS.

**ANCHORING MULCH**

1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION 16 - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

**Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**

**SEEDING RATES FOR TEMPORARY SEEDING**

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 POUNDS	3 bu.	9/1-3/1
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/1
ANNUAL LESPEDEZA	0.9 POUND	40 lbs.	1/15-3/15
WEeping LOVEGRASS	0.1 POUND	4 lbs.	2/15-6/15
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1
BROWNTOP MILLET	0.9 POUND	40 lbs.	4/1-7/15
WHEAT	4.1 POUNDS	3 bu.	9/15-2/1

\*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.  
\*\*SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

**Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)**

**SEEDING RATES FOR PERMANENT SEEDING**

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEeping LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1

\*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.  
\*\*SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

**RELEASED FOR CONSTRUCTION**

LOT	BLOCK
SUBDIVISION	UNIT
LAND LOT 593	17TH DISTRICT 2ND SECTION
COBB COUNTY, GEORGIA	DB.16187/PG.5837 PB.47/PG.70
FIELD WORK DATE JUNE 05, 2024	PRINTED/SIGNED JUNE 14, 2024
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET; AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.	
AU COORD #20240900 DWG #20240900.SP	<b>SURVEY LAND EXPRESS, INC</b> LAND SURVEYING SERVICES

**CONSTRUCTION AND BMP DETAILS**

SITE PLAN PREPARED FOR:	SHEET 5 OF 5
<b>KIMBERLY BUNCH</b>	
PROPERTY ADDRESS: 1546 WALKER ST SMYRNA, GA 30080	
24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-255-0747 INFO@SURVEYLANDPRESS.COM	<b>GEORGIA REGISTERED PROFESSIONAL LAND SURVEYOR</b> JENNIFER A. STEPHENS